

# 217 WEST 57TH STREET NEW YORK, NY

**DEVELOPER:**

**EXTELL DEVELOPMENT COMPANY**  
805 Third Avenue, 7th Floor  
New York, NY 10022 USA  
TEL: 212 712 6000  
FAX: 212 712 6100

**ARCHITECT OF RECORD:**

**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500  
FAX: 416 967 7150

**DESIGN ARCHITECT:**

**Adrain Smith + Gordon Gill Architecture**  
111 West Monroe Street Suite 2300  
Chicago IL 60603 USA  
TEL: 312 920 1888  
FAX: 312 920 1775

**INTERIOR DESIGNER:**

**Rottet Architecture and Design Stuido, PLLC**  
298 Fifth Ave, 7th Floor  
New York, NY 10001 USA  
TEL: 646 998 7000

**STRUCTURAL ENGINEERS:**

**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 687 9888  
FAX: 646 487 5501

**MEP ENGINEERS:**

**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656  
FAX: 212 354 5668

**GEOTECHNICAL ENGINEERS:**

**Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 31st Street, 8th Floor  
New York, NY 10001-2727 USA  
TEL: 212 479 5400  
FAX: 212 479 5444

**CODE CONSULTANT:**

**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007 USA  
TEL: 212 385 1818  
FAX: 212 385 1911

**CURTAIN WALL CONSULTANT:**

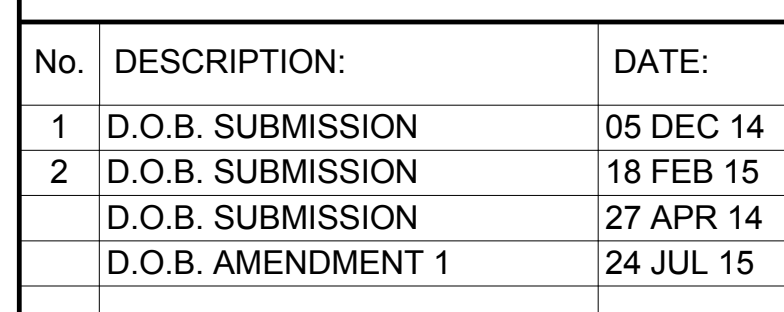
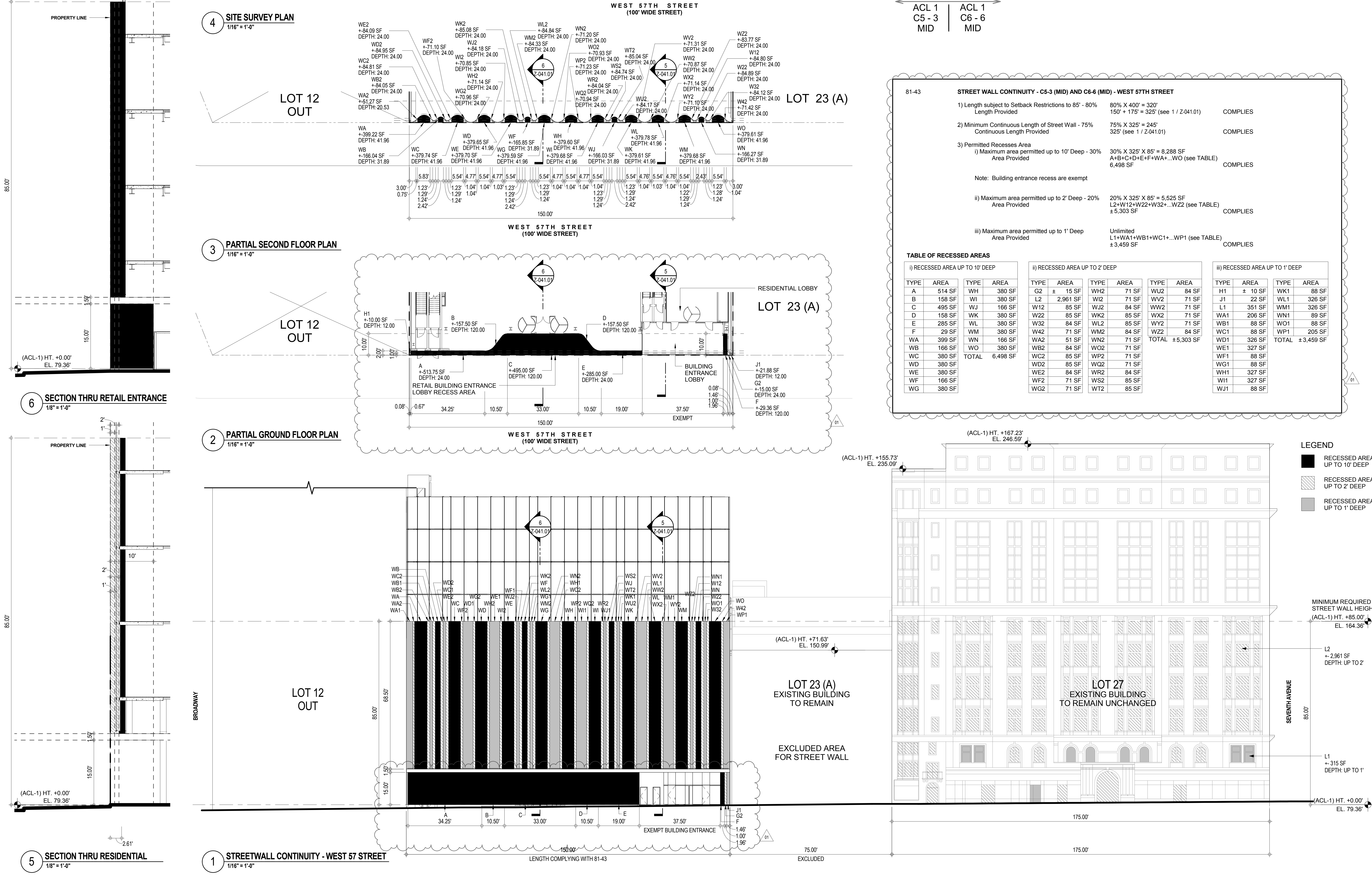
**AJLP Consulting**  
40 Worth Street Suite 826  
New York, NY 10013 USA  
TEL: 212 757 5659  
FAX: 212 219 8508

**LANDMARK/PRESERVATION CONSULTANT:**

**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462  
FAX: 212 759 6540

DRAWING NUMBER	DRAWING TITLE
Z-041.01	STREET WALL CONTINUITY CS-3 AND CS-6 WEST 57TH STREET
Z-043.01	STREET WALL CONTINUITY CS-1 WEST 58TH STREET
Z-044.01	RETAIL CONTINUITY
Z-045.01	SPECIAL URBAN DESIGN REGULATIONS CS-1
Z-046.01	SPECIAL URBAN DESIGN REGULATIONS CS-3
Z-047.01	STREETSCAPE TREE PLANTING
A-035.01	GROUND FLOOR PLAN / BUILDING CODE NOTES (LOBBY)
A-036.01	GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN / BUILDING CODE NOTES
A-105.01	GROUND FLOOR PLAN (LOBBY)
A-106.01	GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER)
A-210.01	PARTIAL ELEVATION - NORTH
A-215.01	PARTIAL ELEVATION - SOUTH
A-302.01	NORTH-SOUTH BUILDING SECTION
A-304.01	EAST-WEST BUILDING SECTION
A-311.01	PARTIAL SECTION - NORTH SOUTH - SC3 TO 9TH FLOOR
A-316.01	PARTIAL SECTION - EAST WEST - SC3 TO 9TH FLOOR
A-322.01	PARTIAL SECTION - EAST WEST - SC3 TO 9TH FLOOR
A-360.01	STAIRS ST-K & ST-G SECTIONS
A-361.01	STAIRS ST-J & ST-H SECTIONS
A-362.01	STAIRS ST-A & ST-B SECTIONS
A-363.01	STAIRS ST-C SECTIONS
A-425.01	GROUND FLOOR PART PLAN (SOUTH-EAST)
A-426.01	GROUND FLOOR PART PLAN (NORTH-EAST)
A-430.01	GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER)
A-601.01	DOOR SCHEDULE - SC3 TO 11TH FLOOR
A-605.00	EXTERIOR DOOR SCHEDULE
A-804.01	EXTERIOR WALL DETAILS - PODIUM - NORTH
A-809.01	EXTERIOR WALL DETAILS - PODIUM - SOUTH
A-911.00	MAIN LOBBY PLAN
A-913.00	MAIN LOBBY ELEVATIONS

ARCHITECTURAL - 24 JULY 2015- DOB AMENDMENT 1

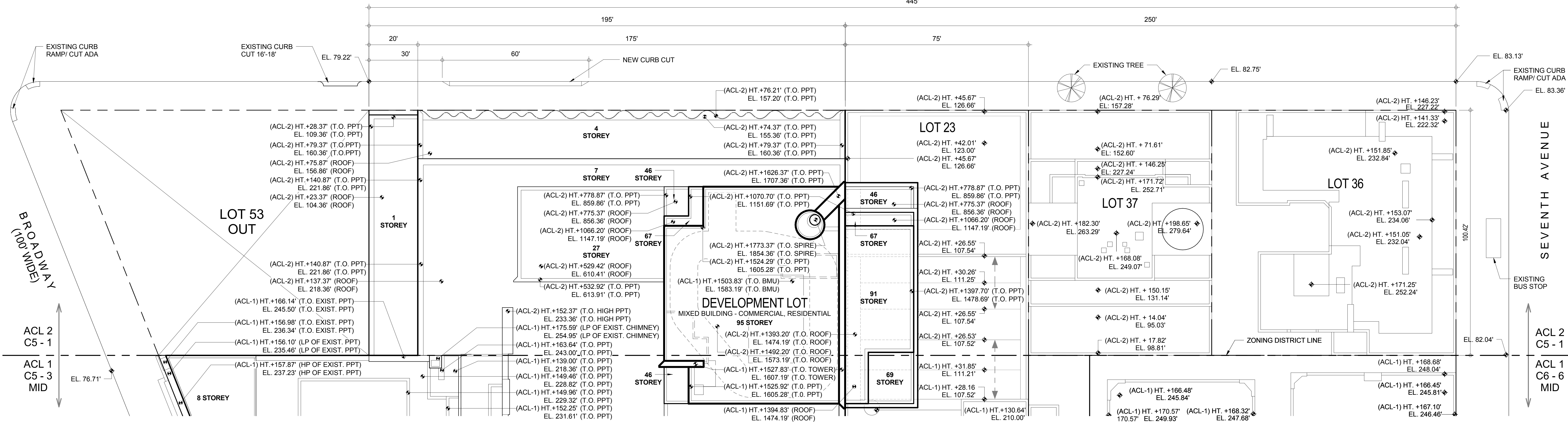
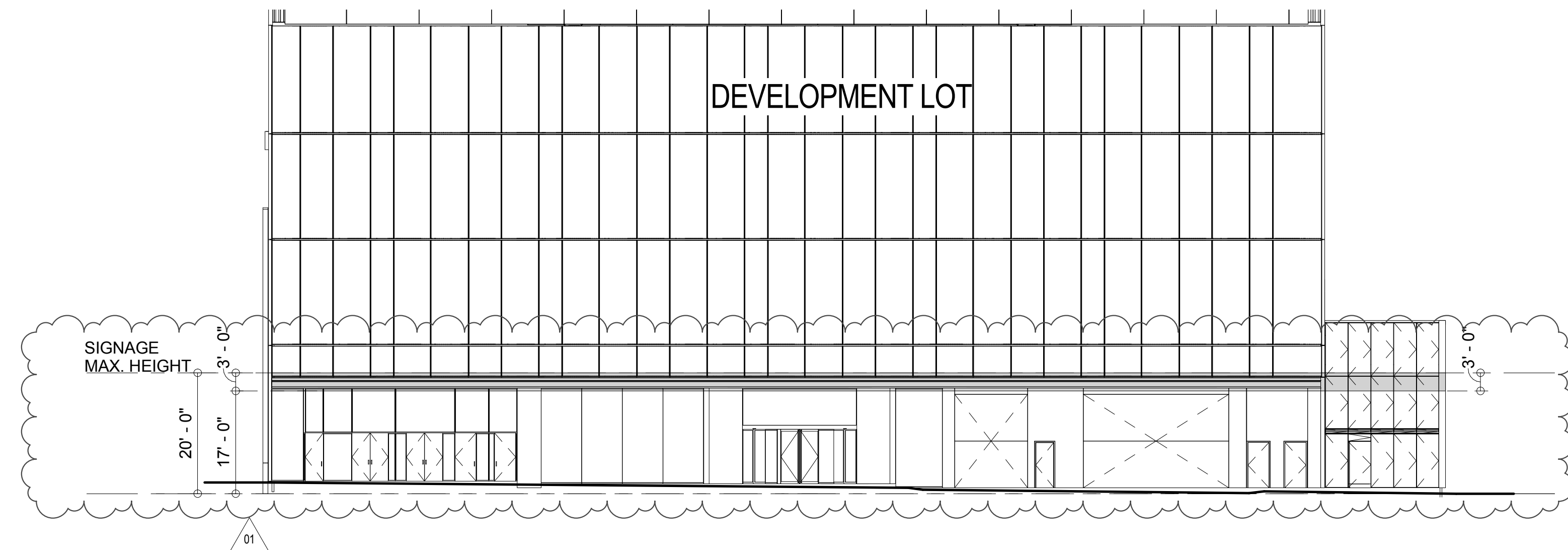
[illegible]



WEST 58TH STREET  
(60' WIDE)

445'

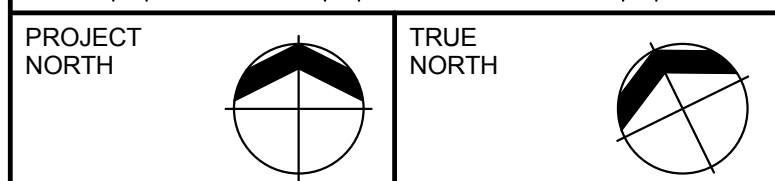
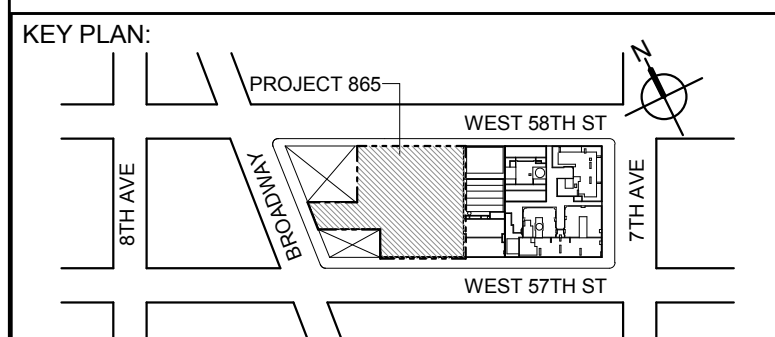
250'

2 SITE SURVEY PLAN  
1/16" = 1'-0"1 STREETWALL CONTINUITY NORTH ELEVATION - WEST 58TH STREET  
1/16" = 1'-0"

## LEGEND

■ AREAS FOR POTENTIAL SIGNAGE

37-30	STREET WALL CONTINUITY - C5-1 - WEST 58TH STREET	
37-36	SIGN REGULATIONS All signs to be provided in horizontal band, not higher than 17' from curb, and no taller than 3'. Signage area provided (see 1 / Z-043.01 )	COMPLIES



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 11TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 West 57th Street, 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 18th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
50 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15

## DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

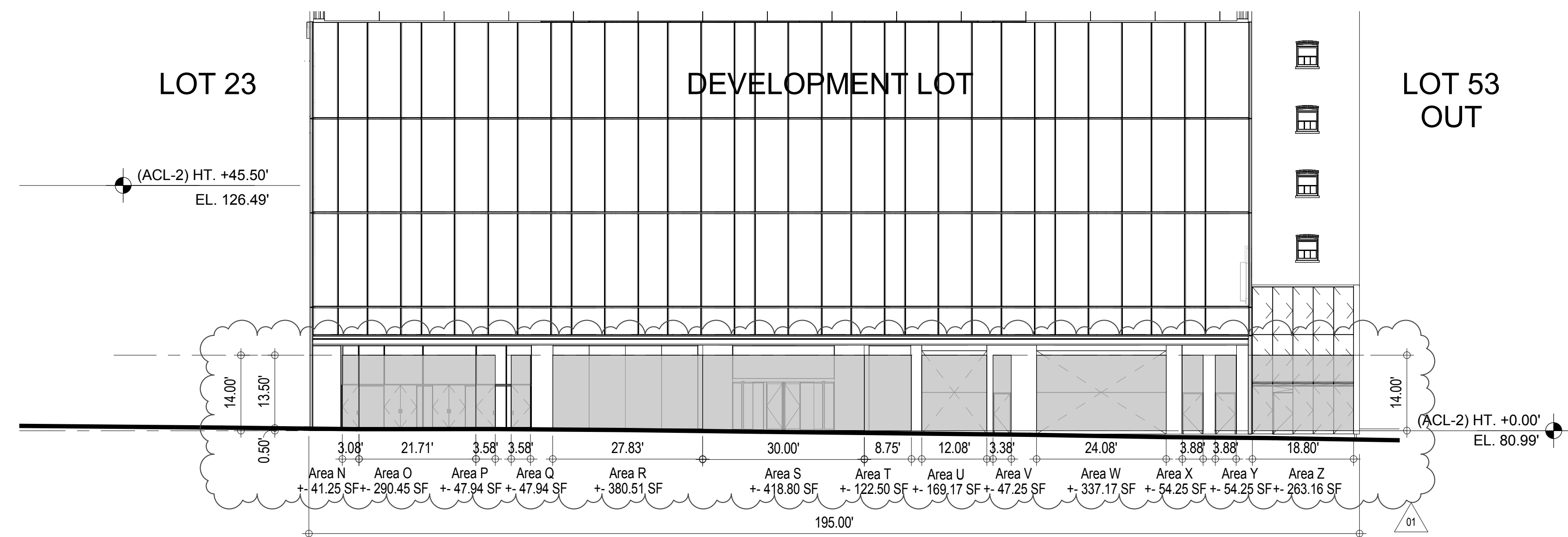
CONSULTANT:



PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

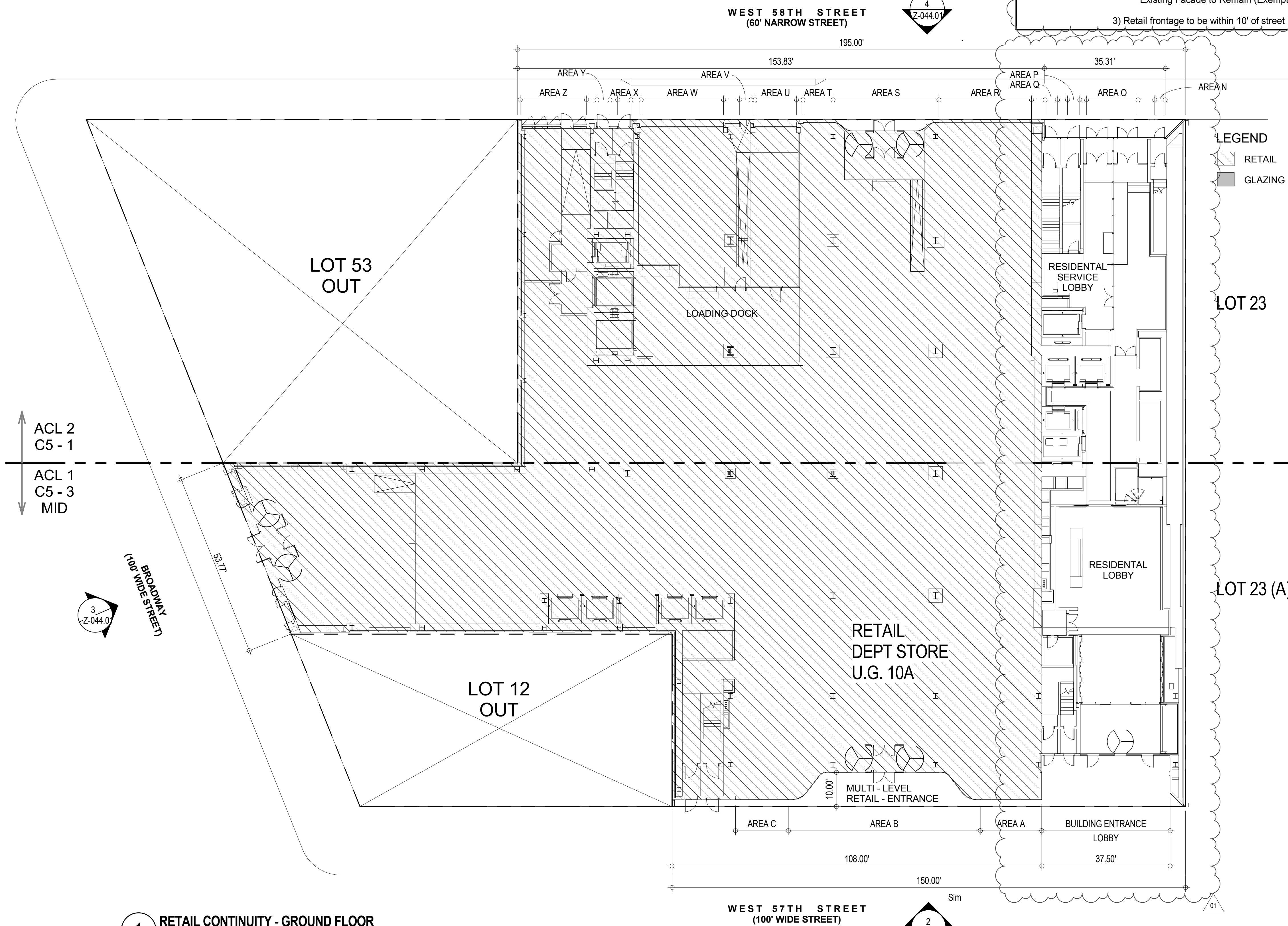
DRAWING TITLE:  
**STREET WALL CONTINUITY C5-1**  
WEST 58TH STREET

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: As indicated	
DWG No:	Z-043.01	
DOB EMPLOYEE STAMP:	DOB PAGE No:	DOB 8-SCAN:

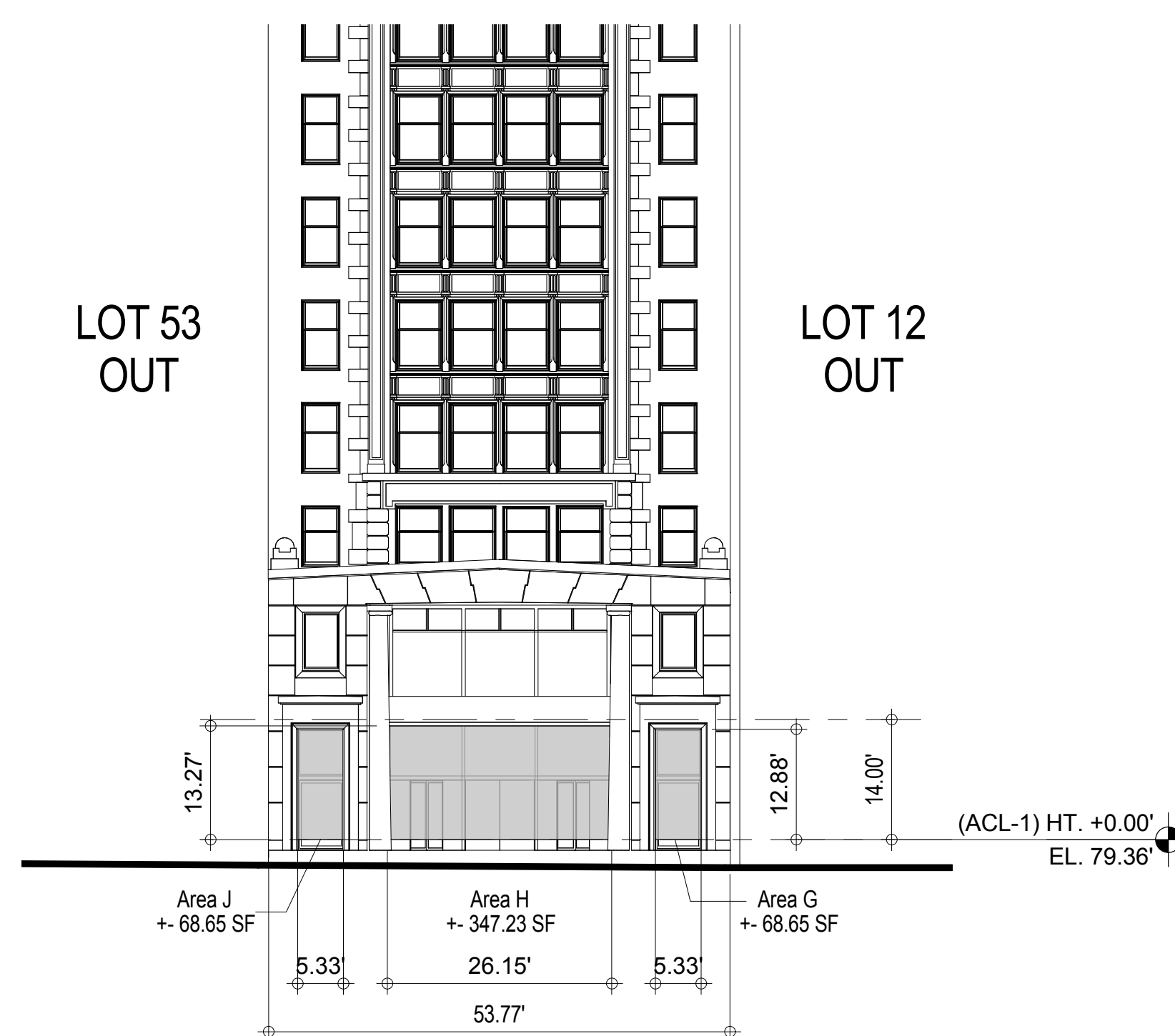


4 RETAIL CONTINUITY GLAZING C5-1 NORTH ELEVATION - WEST 58TH STREET  
1/16" = 1'-0"

37-37	<b>STREET WALL ARTICULATION FOR C5-1 WEST 58TH STREET ELEVATION</b> Minimum 50% of wall surface shall be transparent maximum 4ft above curb level to underside of ceiling (14.00') Glazing Starts 1' from Sidewalk Area of Wall Minimum Required 50% Transparency Transparency Provided 195' X (14.00' - 0.50') = 2,632.5 SF 2,632.5 SF X 50% = 1,316.25 SF Areas N+O+P+Q+R+S+T+U+V+W+X+Y+Z 2,275 SF (see 4 / Z-044.01)	COMPLIES
81-42	<b>GLAZING REQUIREMENTS FOR C5-3 MID BROADWAY ELEVATION</b> 1) Along Broadway 50% of Ground Floor to be glazed (surface to be measured up to 14') Glazing Requirement Glazing Provided 152.78 SF X 50% = 376.95 SF Area G + Area H + Area J 485 SF (see 3 / Z-044.01)	COMPLIES
81-42	<b>GLAZING REQUIREMENTS FOR C5-3 MID WEST 57TH STREET ELEVATION</b> 1) Along West 57th Street 50% of Ground Floor to be glazed (surface to be measured up to 14') Glazing Requirement Glazing Provided (150' X 14') X 50% 2,100 SF X 50% = 1,050 SF Areas A+B+C 1,252 SF (see 2 / Z-044.01)	COMPLIES
37-35	<b>RETAIL CONTINUITY - C5-1</b> 50% of front building wall of development fronting onto a wide street to contain commercial use. Development not on wide street in C5-1. (Not applicable)	COMPLIES
81-42	<b>RETAIL CONTINUITY - C5-3 / C6-6 MID</b> 1) Retail Use Requirements on Designated Streets Retail Provided West 57th Street Full Retail Use on Ground Floor Except for Permitted Residential Lobby 2) Maximum Length of Building Entrance Recess Area 25% of building street frontage i) West 57th street building entrance recess Residential entrance provided 150 X 25% = 37.50' 37.50' ii) Broadway building entrance recess Building entrance recess provided Existing Facade to Remain (Exempt) 3) Retail frontage to be within 10' of street line	COMPLIES COMPLIES COMPLIES

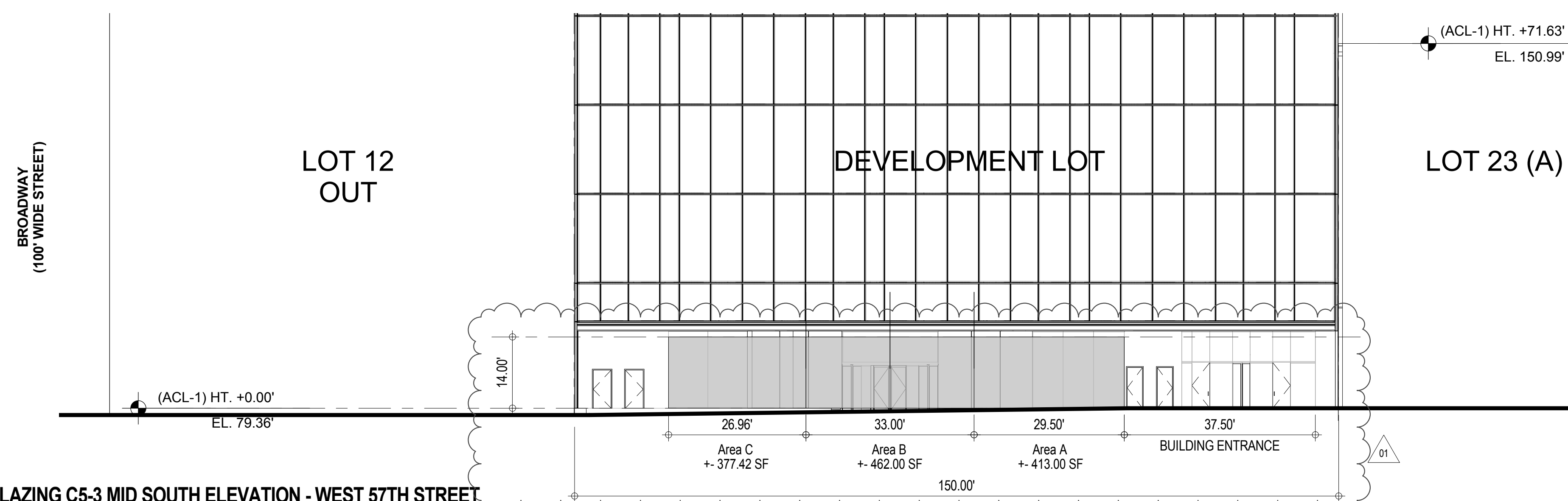


1 RETAIL CONTINUITY - GROUND FLOOR  
1/16" = 1'-0"

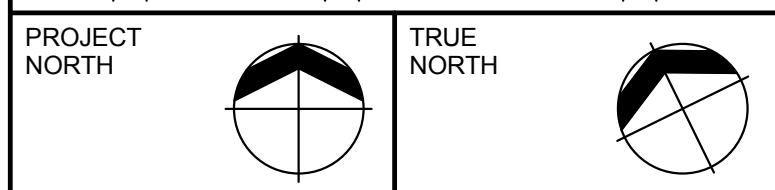
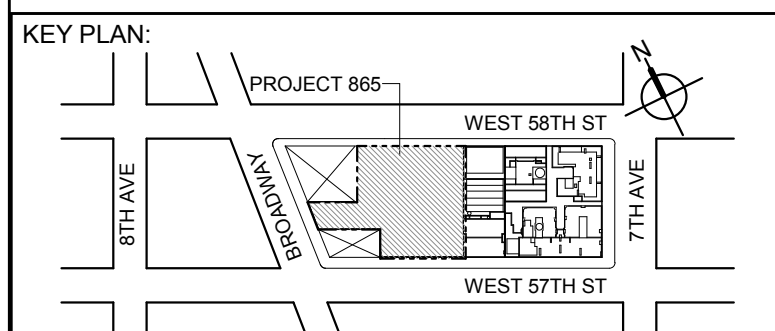


3 RETAIL CONTINUITY GLAZING C5-3 MID WEST ELEVATION - BROADWAY  
1/16" = 1'-0"

2 RETAIL CONTINUITY GLAZING C5-3 MID SOUTH ELEVATION - WEST 57TH STREET  
1/16" = 1'-0"



2 RETAIL CONTINUITY GLAZING C5-3 MID SOUTH ELEVATION - WEST 57TH STREET  
1/16" = 1'-0"



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W. 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
50 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15

## DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

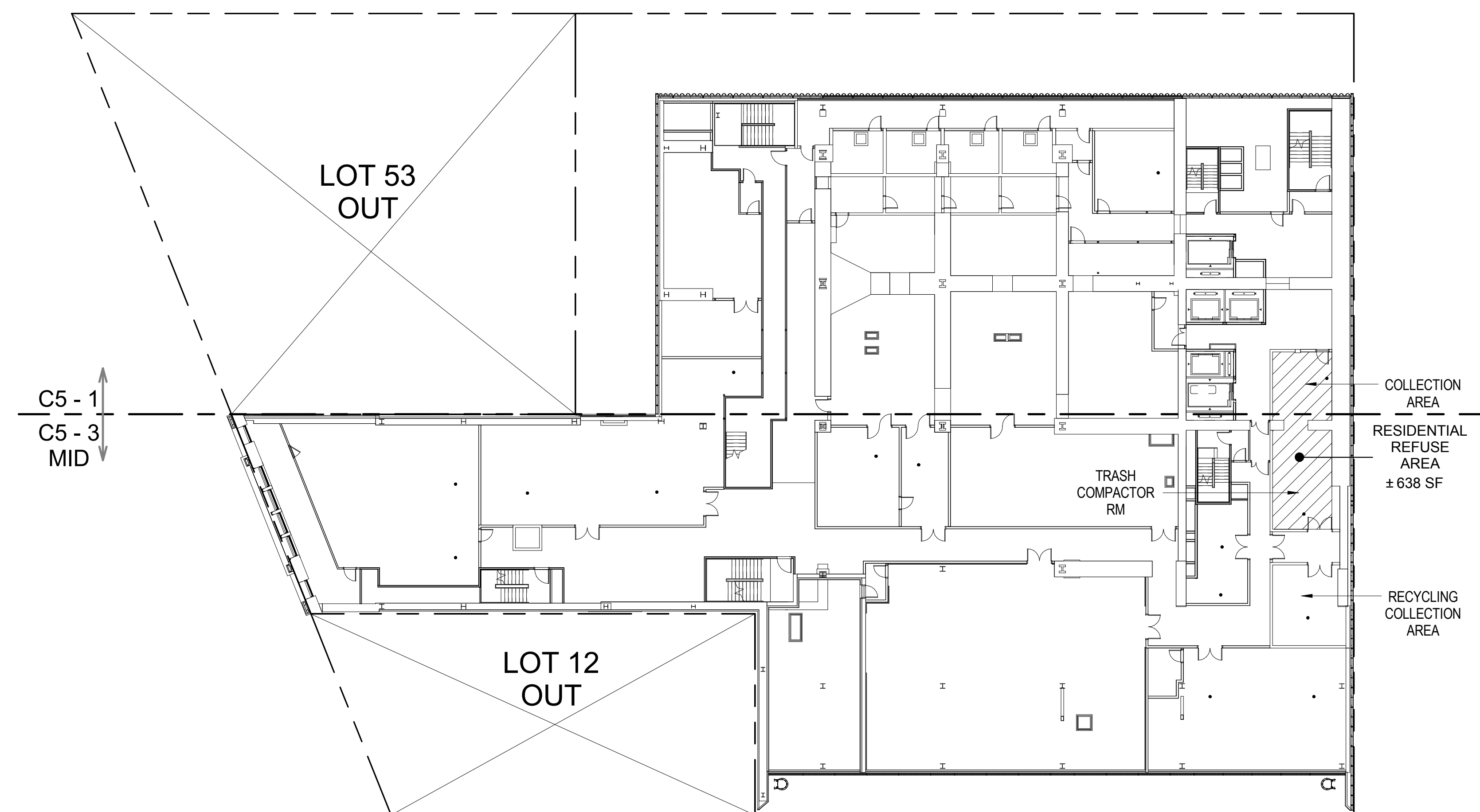
DRAWING TITLE:

RETAIL CONTINUITY

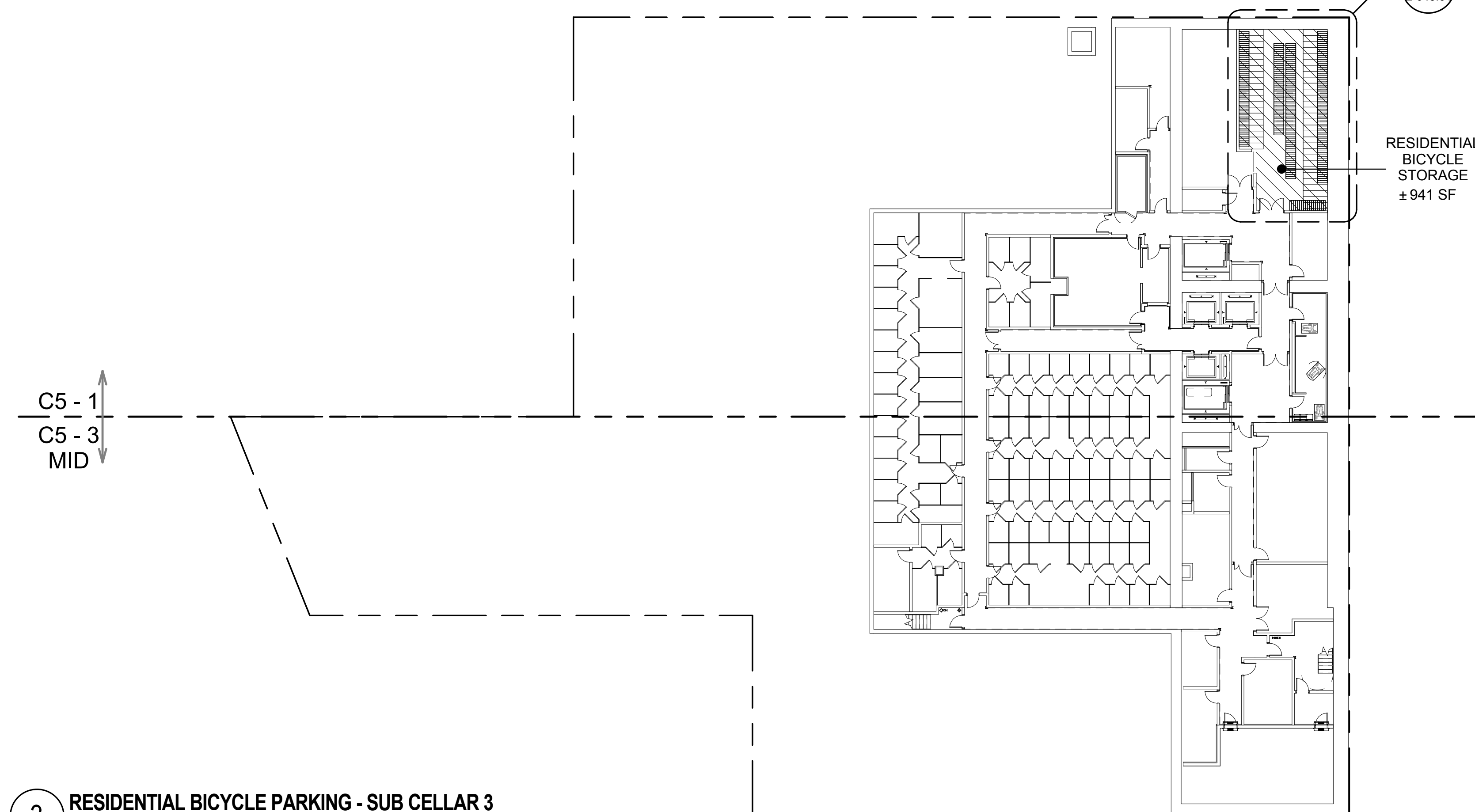
SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: As indicated	
DWG No:	Z-044.01	
DOB PAGE No:		

DOB EMPLOYEE STAMP: DOB B-SCAN:

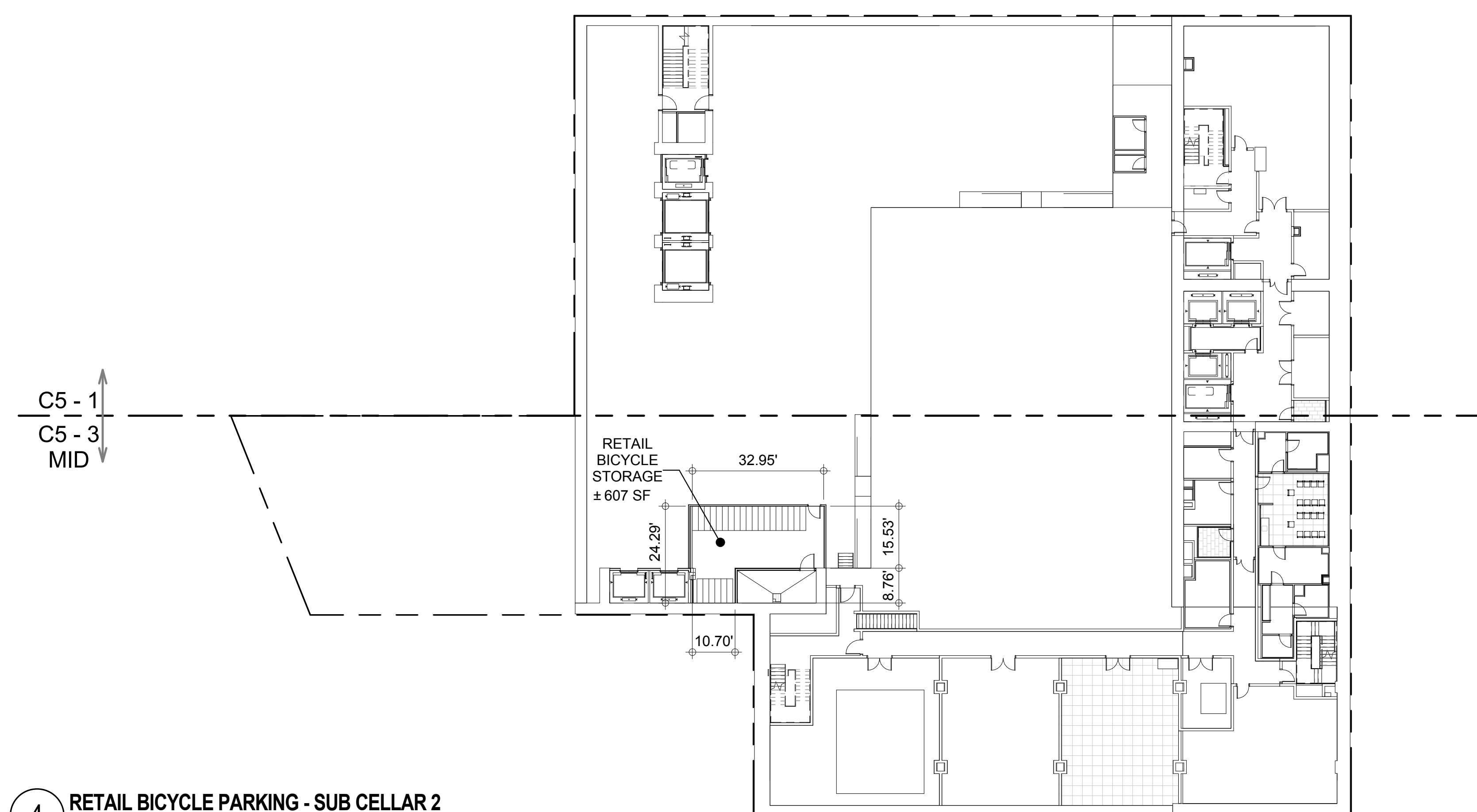




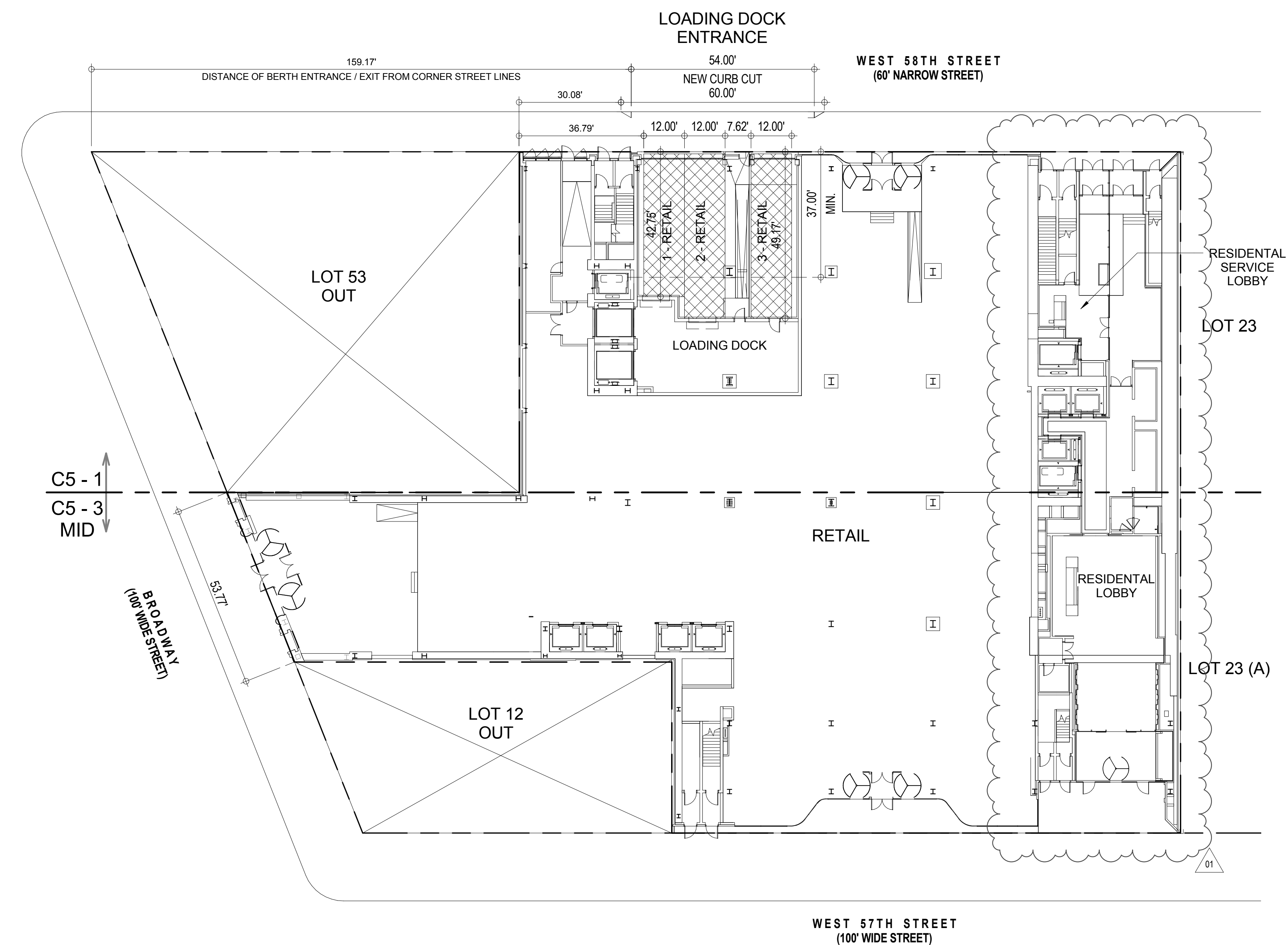
2 CENTRAL REFUSE STORAGE AREA - 7TH FLOOR  
3/64" = 1'-0"



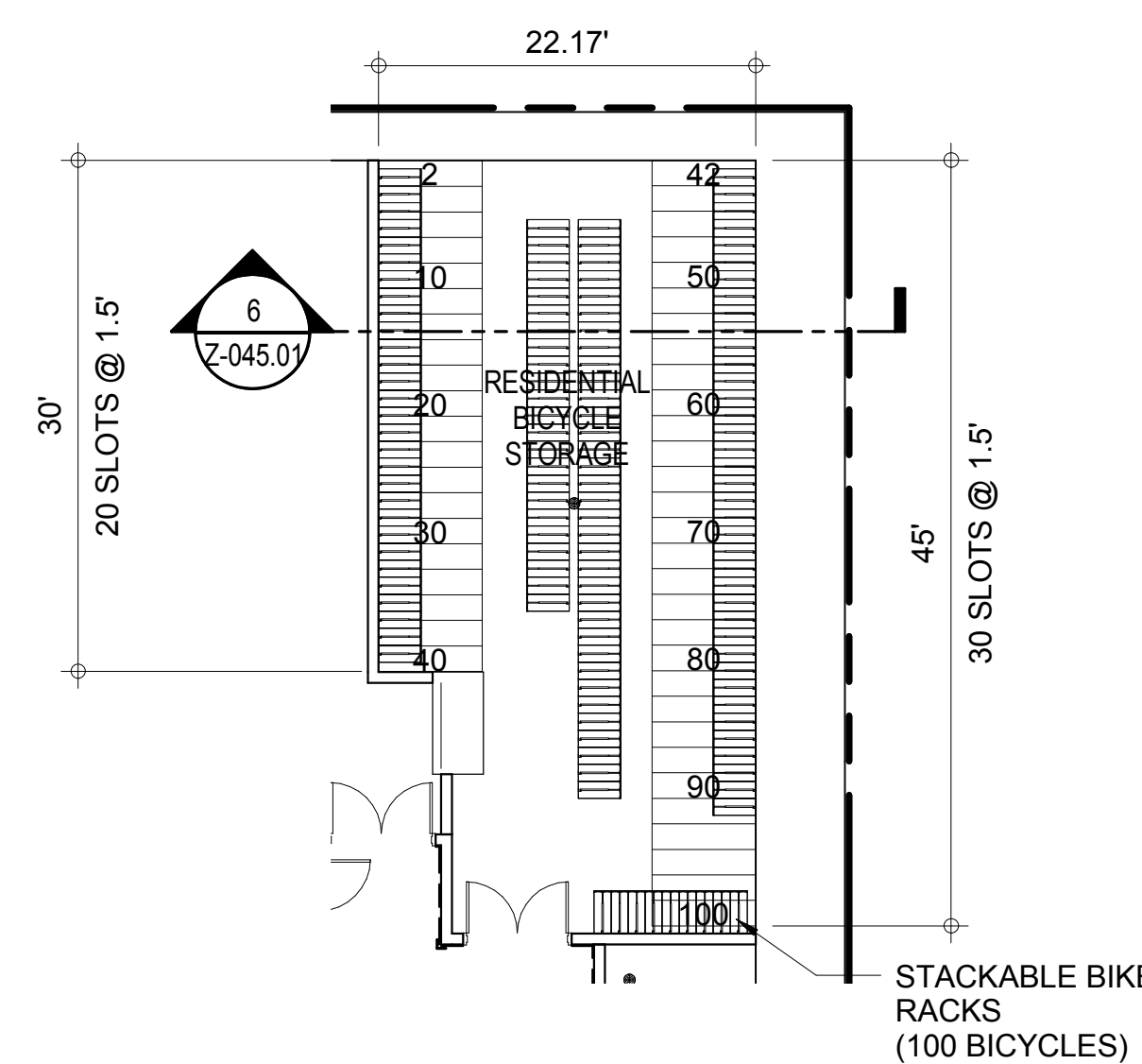
3 RESIDENTIAL BICYCLE PARKING - SUB CELLAR 3  
3/64" = 1'-0"



4 RETAIL BICYCLE PARKING - SUB CELLAR 2  
3/64" = 1'-0"



1 CURB CUT AND REQUIRED LOADING BERTHS - GROUND FLOOR  
3/64" = 1'-0"

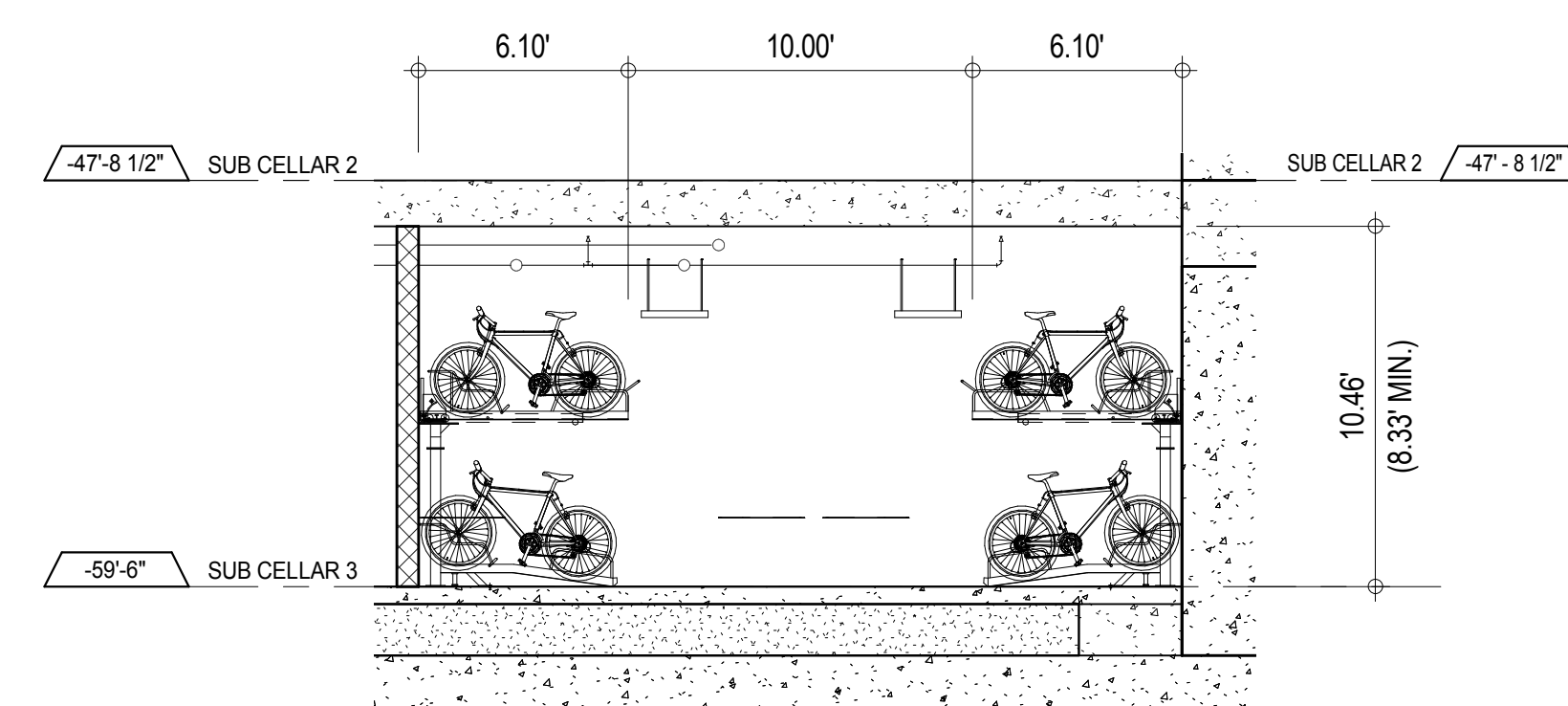


5 PLAN DETAIL - RESIDENTIAL BICYCLE PARKING  
3/32" = 1'-0"

SPECIAL URBAN DESIGN REGULATIONS			
26-00 37-00	<b>CURB CUTS</b> No curb cut on wide streets, one curb cut per zoning lot on Narrow Street. One Curb Cut provided for Narrow Street (West 58th) for Required Loading	(see 1 / Z-045.01)	COMPLIES
26-15 81-44	<b>CENTRAL REFUSE STORAGE AREA</b> Compressed Garbage Area Requirements Refuse Area Required Refuse Area Provided	50 SF x (Lot Area / 10,000 SF) 50 SF x (44,686 SF / 10,000 SF) = 223 SF 638 SF (see 2 / Z-045.01)	COMPLIES
36-681	<b>SIZE AND LOCATION OF REQUIRED BERTHS</b> Size of Berths for Commercial Uses Retail Berths Provided	Length X Width 37' X 12' (see 1 / Z-045.01)	COMPLIES
36-682	Location of Berth entrance and exit shall be more than 50 FT from the intersection of any two street lines Distance of Berth to intersection provided	159.17' (see 1 / Z-045.01)	COMPLIES
36-70 36-73	<b>ENCLOSED BICYCLE PARKING</b> Required Bicycle Parking Required Bicycle Parking With Stackable Bike Racks i) Residential : 1 Bicycle per 2 Dwelling Units Residential Bicycle Parking Provided (With Stackable Racks - see 6 / Z-045.01) ii) Retail : 1 Bicycle / 10,000 SF Retail Bicycle Parking Provided	15 SF / Bicycle 9 SF / Bicycle 183 D.U. / 2 = 92 BICYCLES (92 X 9 SF) = 828 SF 941 SF (see 3 / Z-045.01) 244,134 SF / 10,000 = 25 BICYCLES (25 X 15 SF) = 375 SF 607 SF (see 4 / Z-045.01)	COMPLIES
	Total Bicycle Parking Space Required Total Bicycle Parking Space Provided	(92 X 9 SF) + (25 X 15 SF) = 1203 SF 941 SF + 607 SF = 1548 SF	COMPLIES

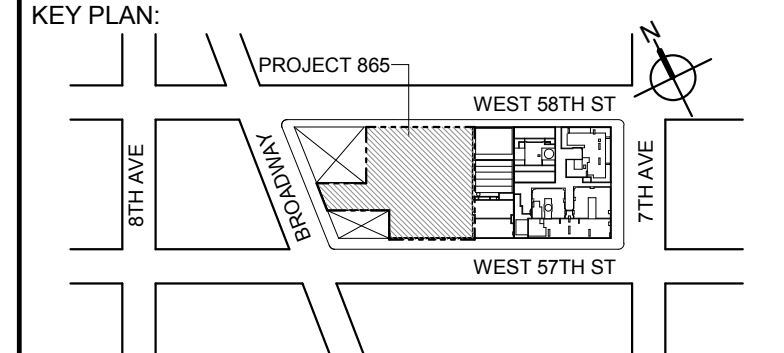
## LEGEND

- BICYCLE STORAGE
- REFUSE AREA
- LOADING BERTHS



6 SECTION - RESIDENTIAL BICYCLE PARKING  
3/16" = 1'-0"

KEY PLAN



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 11TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 Westinghouse St. W. 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 18th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
50 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15

## DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

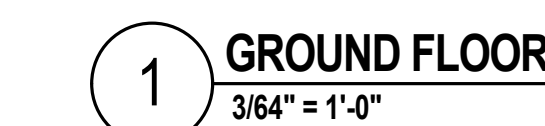
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

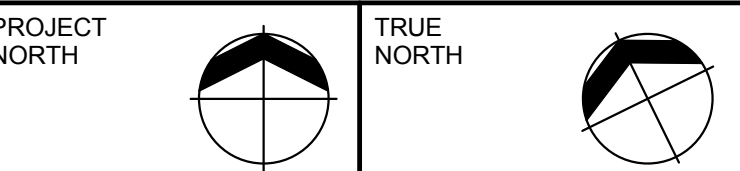
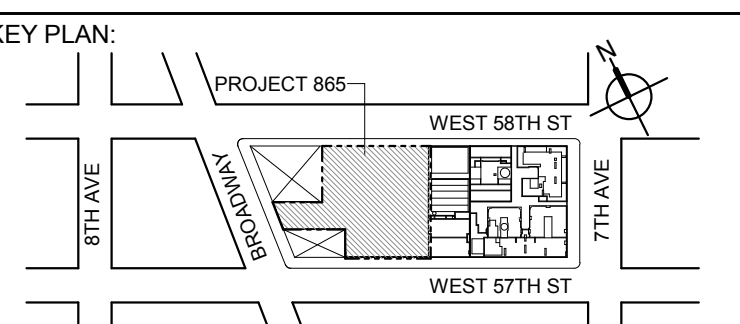
PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**SPECIAL URBAN DESIGN  
REGULATIONS C5-1**

SEAL & SIGNATURE: DATE: 05 DEC 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: As indicated  
DWG No: **Z-045.01**  
DOB PAGE No: DOB B-SCAN:



37-00 37-00	SPECIAL URBAN DESIGN REGULATIONS				
37-50 / 81-45	PEDESTRIAN CIRCULATION SPACE				
37-51	1) Minimum Pedestrian Circulation Space Pedestrian Circulation Space Required	1 SF / 300 SF of new F.A. 251,988 / 300 SF = 873 SF			
37-52 / 81-45	2) Pedestrian Circulation Space provided for a "Through Lot" : i) Building Entrance Recess Area	Area A = 330 SF Area B = 562.5 SF			
	Pedestrian Circulation Space Provided	330 SF + 562.5 SF = 892.5 SF (see 2 and 3 / Z.046.01) Note: Area A for Dept. store floor area of 98,719 SF requires 329SF of PCS. 330SF Provided.			COMPLIES
37-53 b)	Building Entrance Recess Area (Area A & B) Design Requirements				
	Requirements	Compliance			
	1) Dimensions	Min. - Max.	Provided-A	Provided-B	
	Length	15' - 50'	33.00'	37.50'	COMPLIES
	Width	10' - 15'	10.00'	15.00'	COMPLIES
	Area	Length x Width =	330 SF	563 SF	
	2) Obstructions	Minimum	Provided-A	Provided-B	
	Height	15'	15'	15'	COMPLIES
	Other Obstructions				NONE
	3) Other Requirements				COMPLIES
	There are no overlaps. Connects directly to building uses (see 2 and 3 / Z.046.01 )				
81-47 b)	MAJOR BUILDING ENTRANCES				
	1) Building entrances located on all major streets West 58th Street, Broadway and West 57th Street. (See 1 / Z.046.01)				COMPLIES



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

**GEOTECHNICAL ENGINEERS:**  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

**CURTAINWALL CONSULTANT:**  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

ANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasebarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 1005  
TEL: 212 274 9468 FAX: 646 274 9380

ANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 1	24 JUL 15

## DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **A A T**

PROJECT:


217 WEST 57TH STREET  
NEW YORK, NY


DRAWING TITLE:


SPECIAL URBAN DESIGN  
REGULATIONS C5.3

REAL & SIGNATURE:	DATE:	05 DEC 14
-------------------	-------	-----------

	PROJECT No: 1216-00	
	DRAWN: Author	REV:

	CHK: _____	2
	Checker	

	SCALE: As indicated	
	DWG No:	



**Z-046.01**

DOB PAGE No:

DOB EMPLOYEE STAMP:	DOB B-SCAN:
---------------------	-------------



26-41	<b>STREETSCAPE TREE PLANTING</b>	
33-03	A) Required number of trees : One every 25ft of Street Frontage of the Zoning Lot	
26-41	Length of Street Frontage Trees Required Existing Trees New Trees (On-Site) Trees Relocated (Off-Site)  Trees Provided	445' + 53.77' + 400' + 200.84' = 1,099.61' (see schedule) 18 + 2 + 16 + 8 = 44 Trees (see schedule) 2 Trees 0 + 0 + 0 + 0 = 0 Trees (see schedule) 16 + 2 + 16 + 8 = 42 Trees (see schedule)  2 Existing Trees + 0 New Trees (on-site) + 42 Relocated Trees (off-site) = 44 Trees      COMPLIES  42 trees to be relocated as per provisions of section 26-41 (NYC DEPARTMENT OF PARKS AND RECREATION APPROVAL DATED 2014.01.17) DPR APP# 12631



CD PROGRESS ISSUE 1

[illegible]



## GROUND FLOOR - OCCUPANT LOAD SUMMARY

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
58TH ST. RESIDENTIAL LOBBY	B	370 SF	100 SF	4
RES. MAIN ENTRANCE LOBBY	B	1,578 SF	100 SF	16
RES. SERVICE LOBBY	B	338 SF	100 SF	4
RETAIL ESA / FIRE ALARM	B	439 SF	100 SF	5
RETAIL	M	21,622 SF	30 SF	** 721
LOADING DOCK	S-1	3,481 SF	300 SF	12
Grand total				** 762

## EXIT DOOR SUMMARY - BC TABLE 1005.1

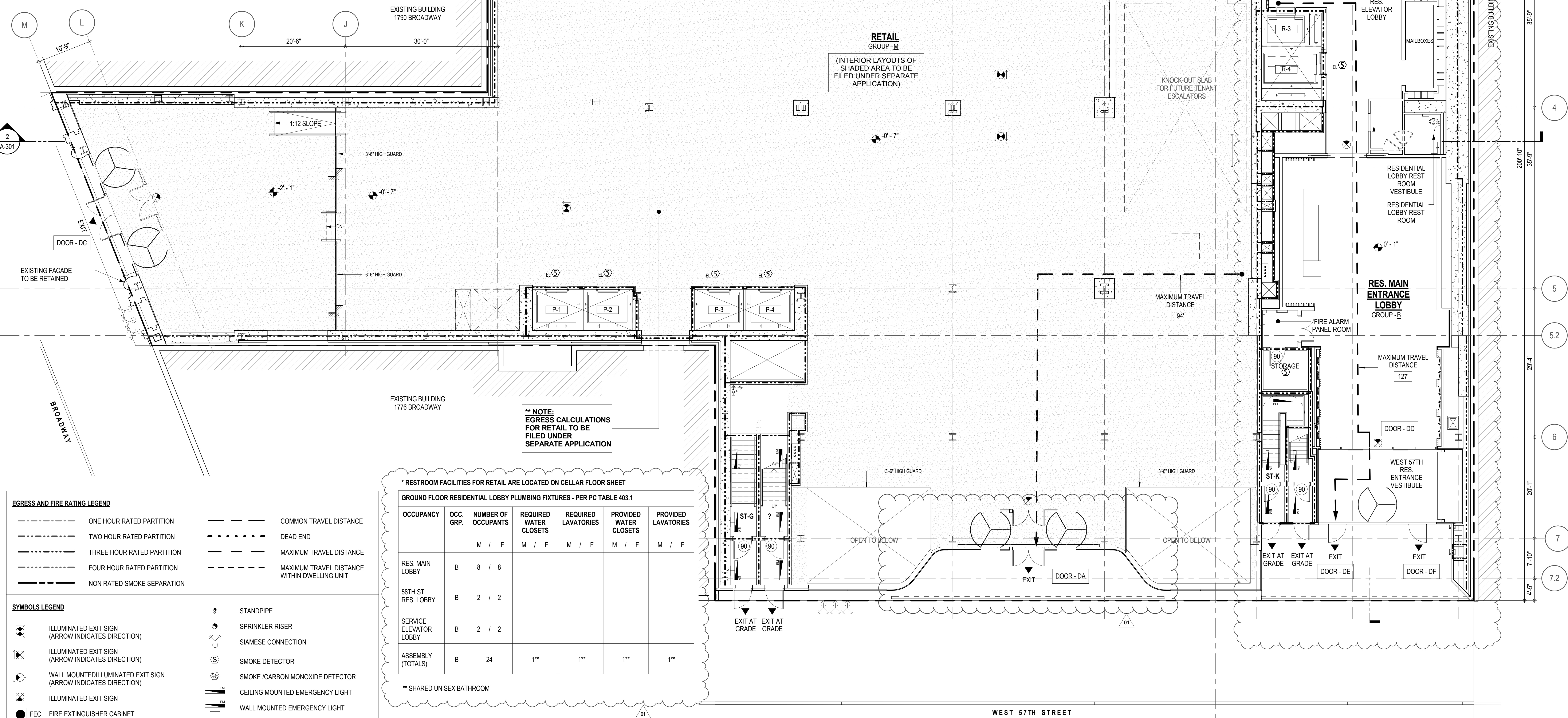
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1540)
STAIR - A - DOOR	34"	0.2	170
STAIR - B - DOOR	34"	0.2	170
STAIR - C - DOOR	40"	0.2	200
STAIR - D - DOOR	40"	0.2	200
STAIR - E - DOOR	40"	0.2	200
STAIR - G - DOOR	40"	0.2	200
STAIR - H - DOOR	40"	0.2	200
STAIR - J - DOOR	40"	0.2	200
STAIR - K - DOOR	34"	0.2	170

## EXIT DOOR SUMMARY - BC TABLE 1005.1

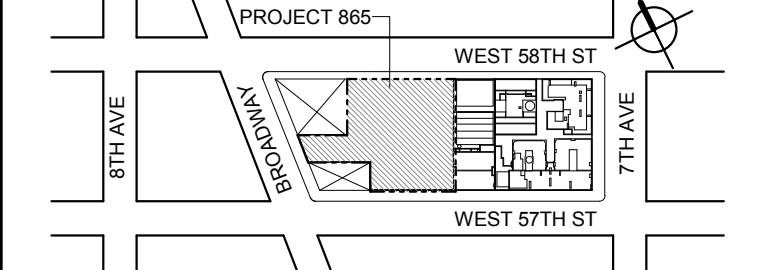
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (2160)	DOOR LOAD TOTAL (745)
EXIT DOOR - DA	72"	0.2	360	** 240
EXIT DOOR - DB	72"	0.2	360	** 240
EXIT DOOR - DC	72"	0.2	360	** 241
EXIT DOOR - DD	72"	0.2	360	16
EXIT DOOR - DE	36"	0.2	180	8
EXIT DOOR - DF	36"	0.2	180	8
EXIT DOOR - DG	36"	0.2	180	4
EXIT DOOR - DH	36"	0.2	180	4

## LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

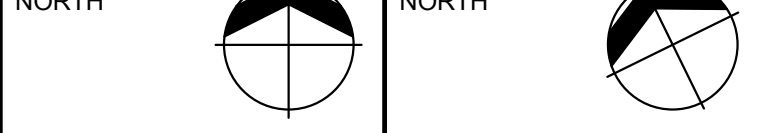
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
M	200'	75'	20'
S-1	200'	100'	20'
B	300'	100'	50'



## KEY PLAN



## PROJECT NORTH



## DEVELOPER:

**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 17TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 West 46th St., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 1750

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 46th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza, 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
30 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

1 CD PROGRESS ISSUE 1 15 OCT 14

2 D.O.B. SUBMISSION 05 DEC 14

3 CD PROGRESS ISSUE 2 19 DEC 14

4 D.O.B. SUBMISSION 18 FEB 15

5 CD PROGRESS ISSUE 3 09 MAR 15

6 D.O.B. SUBMISSION 27 APR 15

CD PROGRESS ISSUE 4 01 JUN 15

D.O.B. AMENDMENT 1 24 JUL 15

0 4'-0" 8'-0" 16'-0"

## NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR PLAN

BUILDING CODE NOTES (LOBBY)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 6

SCALE: 1/8" = 1'-0"

DWG No: A-035.01

DOB PAGE No: DOB B-SAN:

DOB EMPLOYEE STAMP:



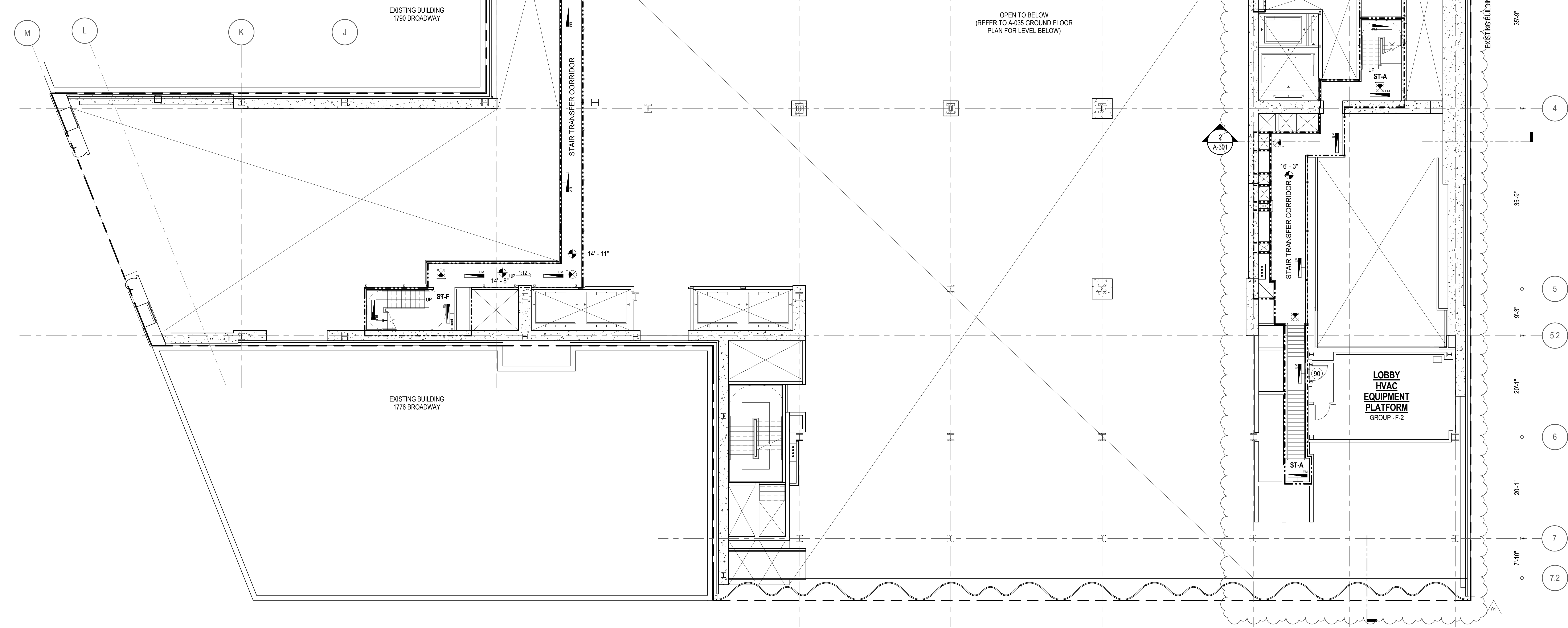
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (600)	TOTAL (0)
STAIR - A	60"	0.3	200	0
STAIR - B	60"	0.3	200	0
STAIR - E	60"	0.3	200 *	0
STAIR - F	44"	0.3	146 *	0

\*STAIR E &amp; STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. THE TOTAL EXIT CAPACITY TO BE (200).

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (600)	TOTAL (0)
STAIR - A - DOOR	40"	0.2	200	0
STAIR - B - DOOR	40"	0.2	200	0
STAIR - E - DOOR	40"	0.2	200 *	0
STAIR - F - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	11"	7.5"	24	135.00"
STAIR - B	11"	7.57"	24	138.00"
STAIR - E	11"	6.88"	24	55.00"
STAIR - F	11"	6.89"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'

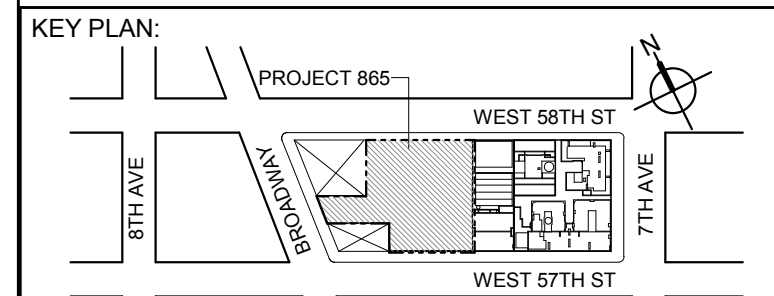


## EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

## SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 867 1500 FAX: 416 867 1150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 46th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasebath & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
30 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

## NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

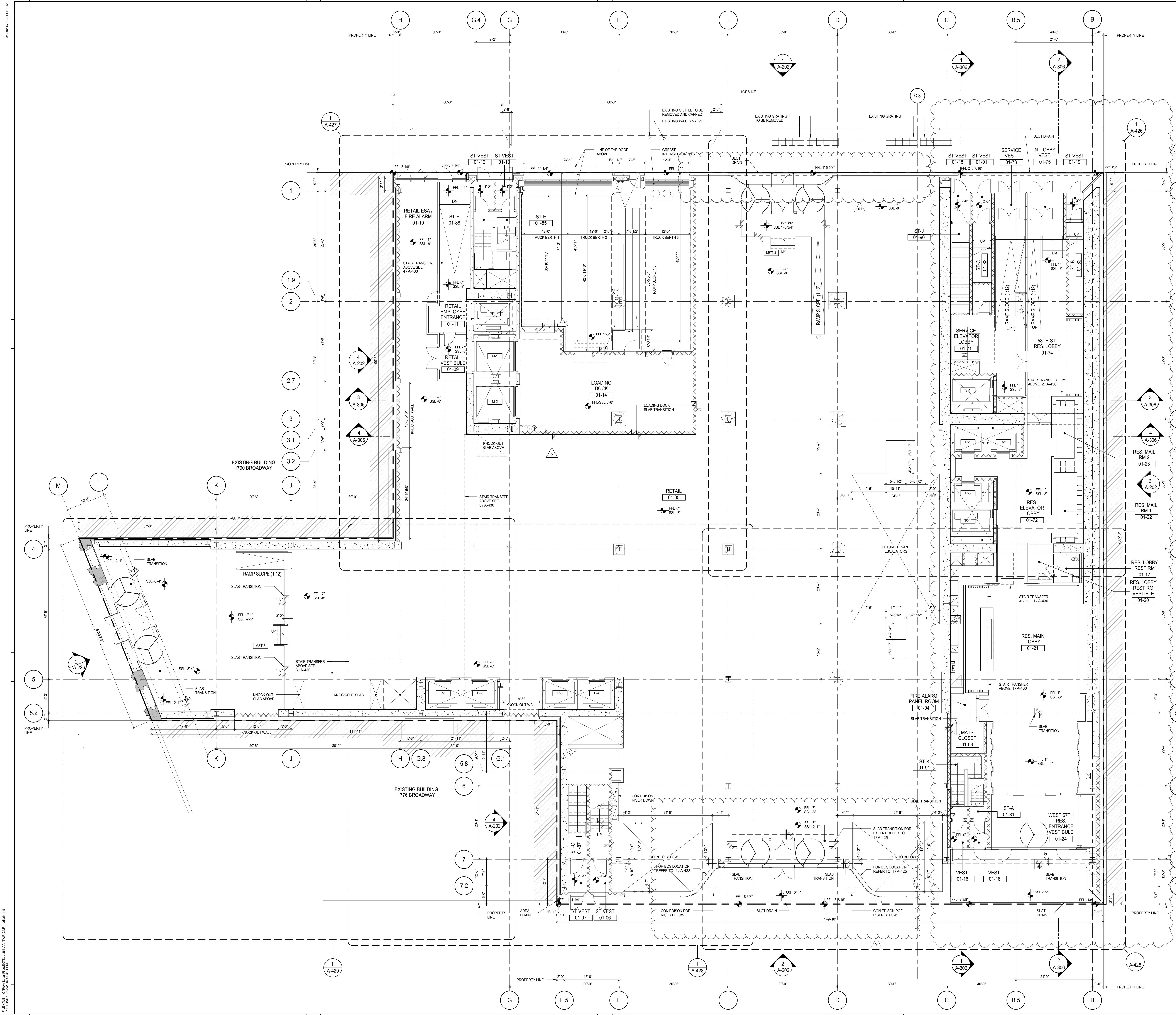
PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**GROUND FLOOR INTERMEDIATE STAIR TRANSFER FLOOR PLAN**  
BUILDING CODE NOTES

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	6
	SCALE: 1/8" = 1'-0"	
DWG No:		
	<b>A-036.01</b>	

DOB EMPLOYEE STAMP: DOB B-SCAN:





**KEY PLAN**

**PROJECT NORTH**

**DEVELOPER:** EXTRELL DEVELOPMENT COMPANY  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

**DESIGN ARCHITECT:** Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

**INTERIOR DESIGNER:** Residential  
**Rottet Architecture and Design Studio, PLLC**  
228 FIFTH AVE, 7TH FLOOR  
NEW YORK, NY 10001  
TEL: 646 989 7000 FAX:

**ARCHITECT OF RECORD:** Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 WASHINGTON ST. W., 3RD FLOOR  
TORONTO, ON M5V 1E7 CANADA  
TEL: 416 967 1500 FAX: 416 967 7150

**STRUCTURAL ENGINEERS:**  
**WSP CANTOR SEINUK**  
228 EAST 45TH STREET  
NEW YORK, NY 10017 USA  
TEL: 212 887 8888 FAX: 646 487 5501

**MEP ENGINEERS:**  
**AKF GROUP**  
165 BROADWAY, 22ND FLOOR  
NEW YORK, NY 10006 USA  
TEL: 212 354 5656 FAX: 212 354 5668

**GEOTECHNICAL ENGINEERS:**  
**Langan Engineering & Environmental Services**  
21 PENN PLAZA - 300 WEST 57th STREET, 8th FLOOR  
NEW YORK, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

**CODE CONSULTANTS:**  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

**CURTAINWALL CONSULTANT:**  
**AJLP Consulting**  
40 WORTH STREET, SUITE 826  
NEW YORK, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

**LANDMARK/PRESERVATION CONSULTANT:**  
**Jan Hird Pokorny Associates, Inc.**  
39 WEST 57th STREET, 12A  
NEW YORK, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

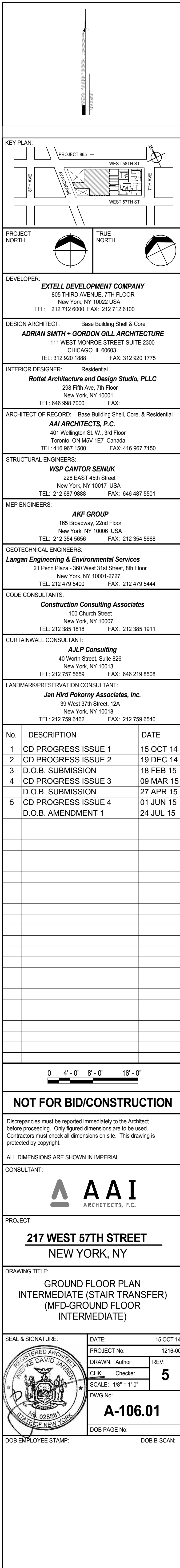
**CONSULTANT:** **AAI ARCHITECTS, P.C.**

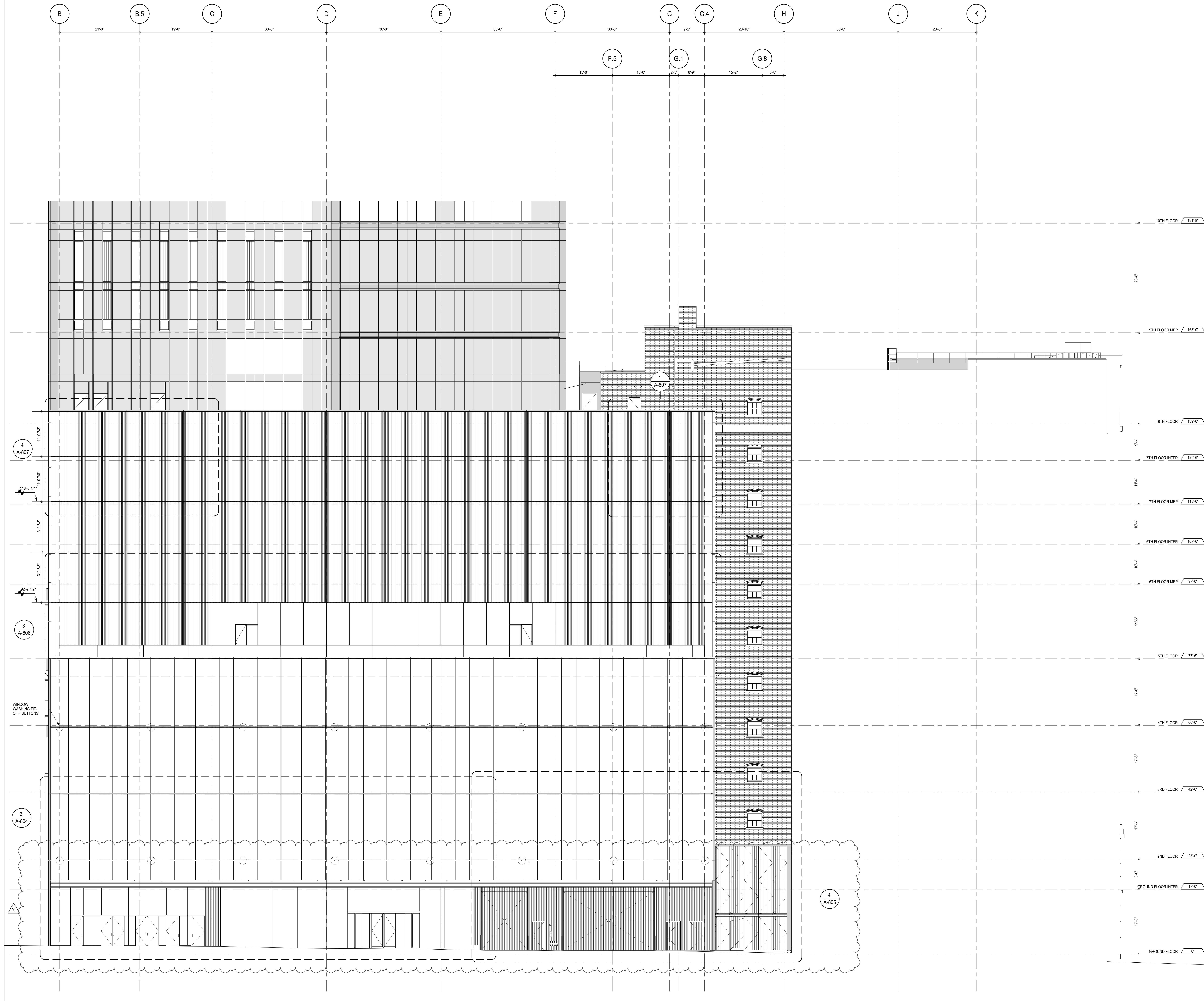
**PROJECT:** 217 WEST 57TH STREET, NEW YORK, NY

**DRAWING TITLE:** GROUND FLOOR PLAN (LOBBY) (MFD-GROUND FLOOR)

**SEAL & SIGNATURE:** DATE: 15 OCT 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/8" = 1'-0"  
DWG No: **A-105.01**  
DOB PAGE No: DOB PAGE No: DOB PAGE No:







PARTIAL ELEVATION - NORTH  
1  
1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:  
Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:  
Residential  
**Rottet Architecture and Design Studio, PLLC**  
228 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 Westchester St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 57th Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

0 4'-0" 8'-0" 16'-0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

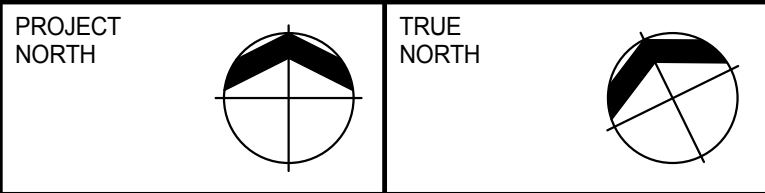
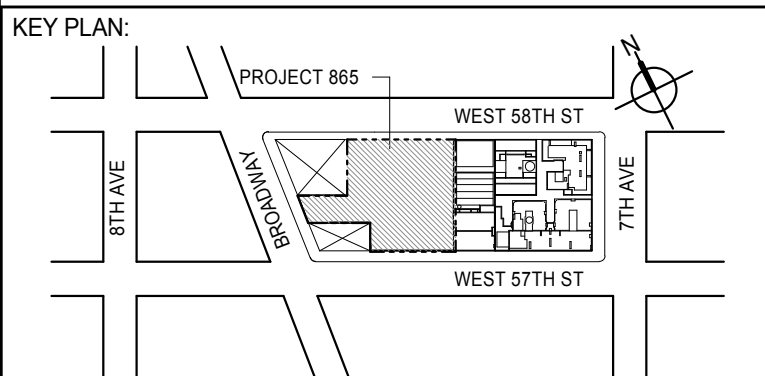
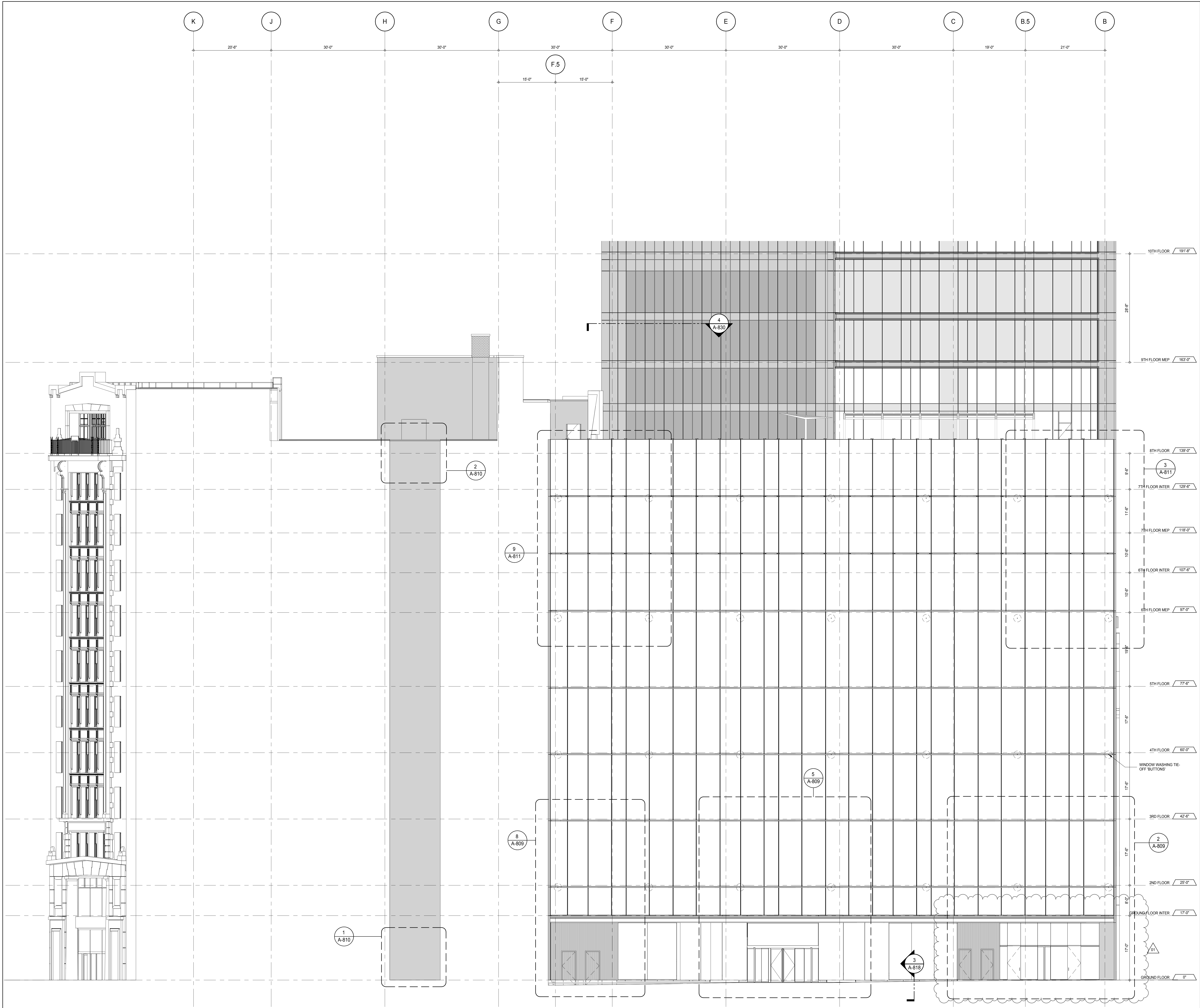
DRAWING TITLE:  
**PARTIAL ELEVATION - NORTH**

SEAL & SIGNATURE:

DATE: 15 OCT 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/8" = 1'-0"  
DWG No:  
**A-210.01**

DOB PAGE No:  
DOB 5-SCAN:





DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 57th Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 4' - 0" 8' - 0" 16' - 0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**PARTIAL ELEVATION - SOUTH**

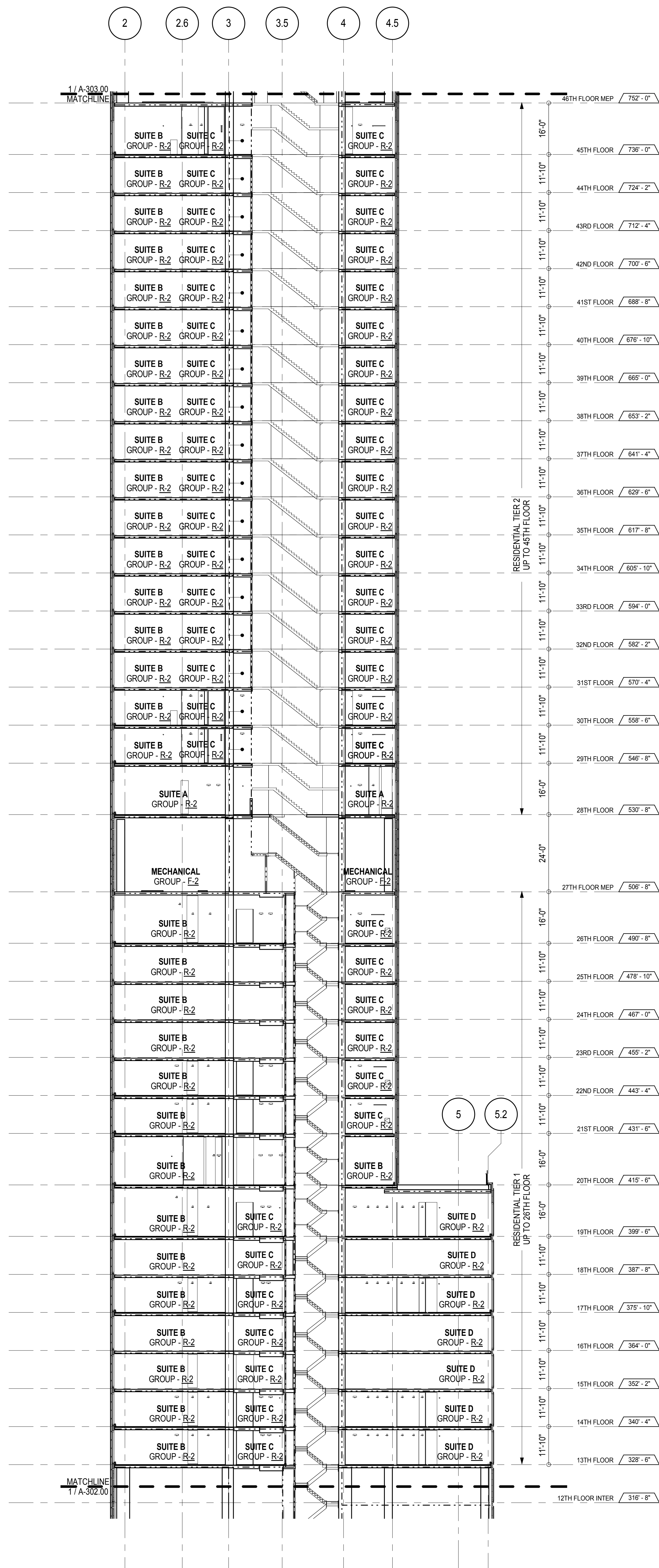
SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 5
DRAWN: Author	CHK: Checker
SCALE: 1/8" = 1'-0"	DWG No: A-215.01
DOB PAGE No:	DOB 5-SCAN:

DOB EMPLOYEE STAMP: DOB 5-SCAN:

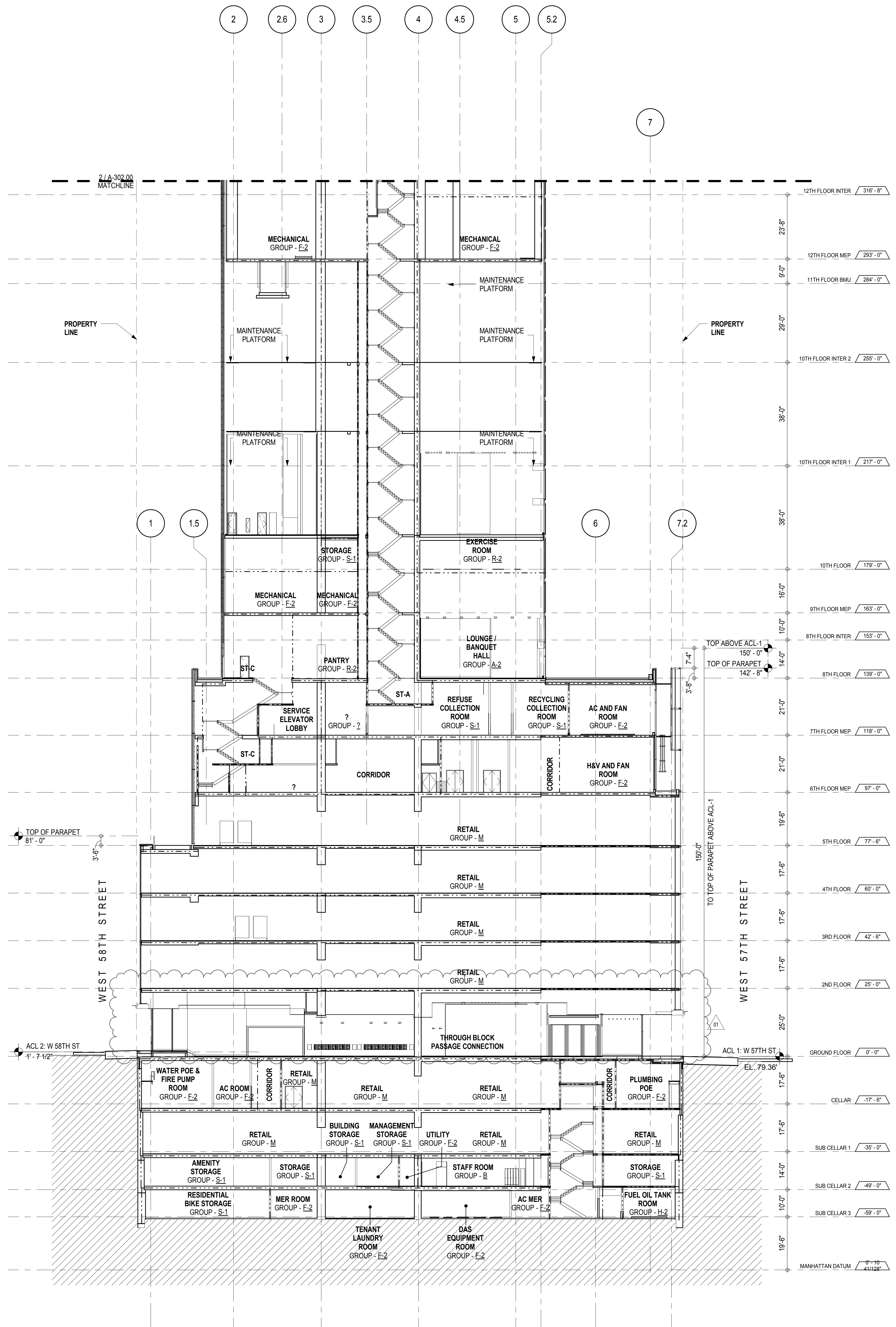
**PARTIAL ELEVATION - SOUTH**

1

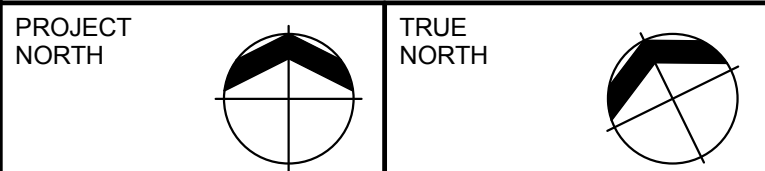
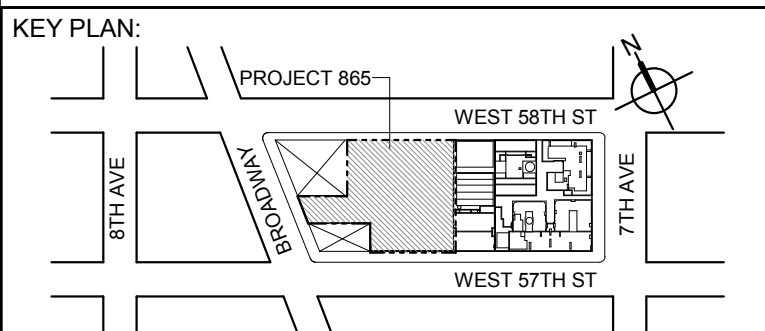
A-202  
1/8" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION - 12TH TO 45TH FLOORS  
A-301  
1/8" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION - SUB CELLAR 3 TO 11TH FLOOR  
A-301  
1/8" = 1'-0"



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 17TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
401 West 57th St., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 48th Street  
New York, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
New York, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza, 380 West 31st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
30 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

#### NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

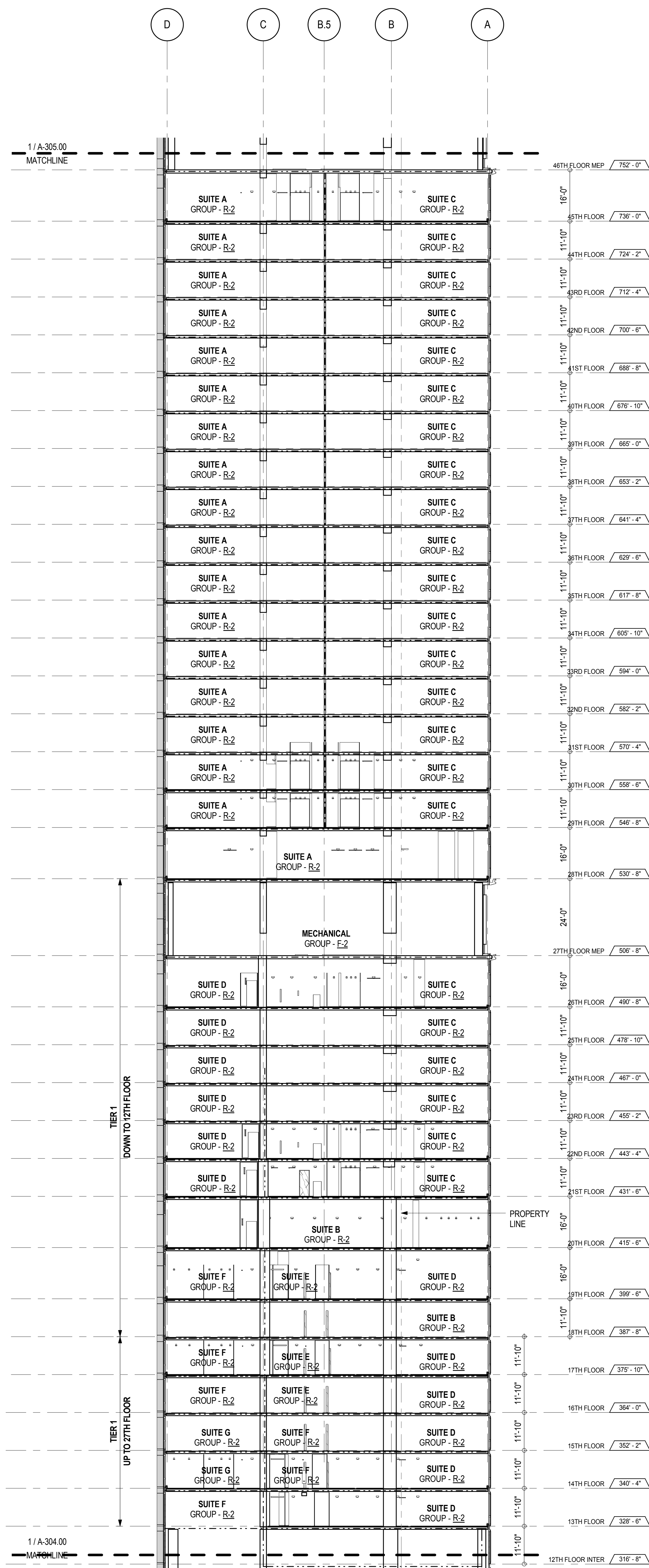


PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

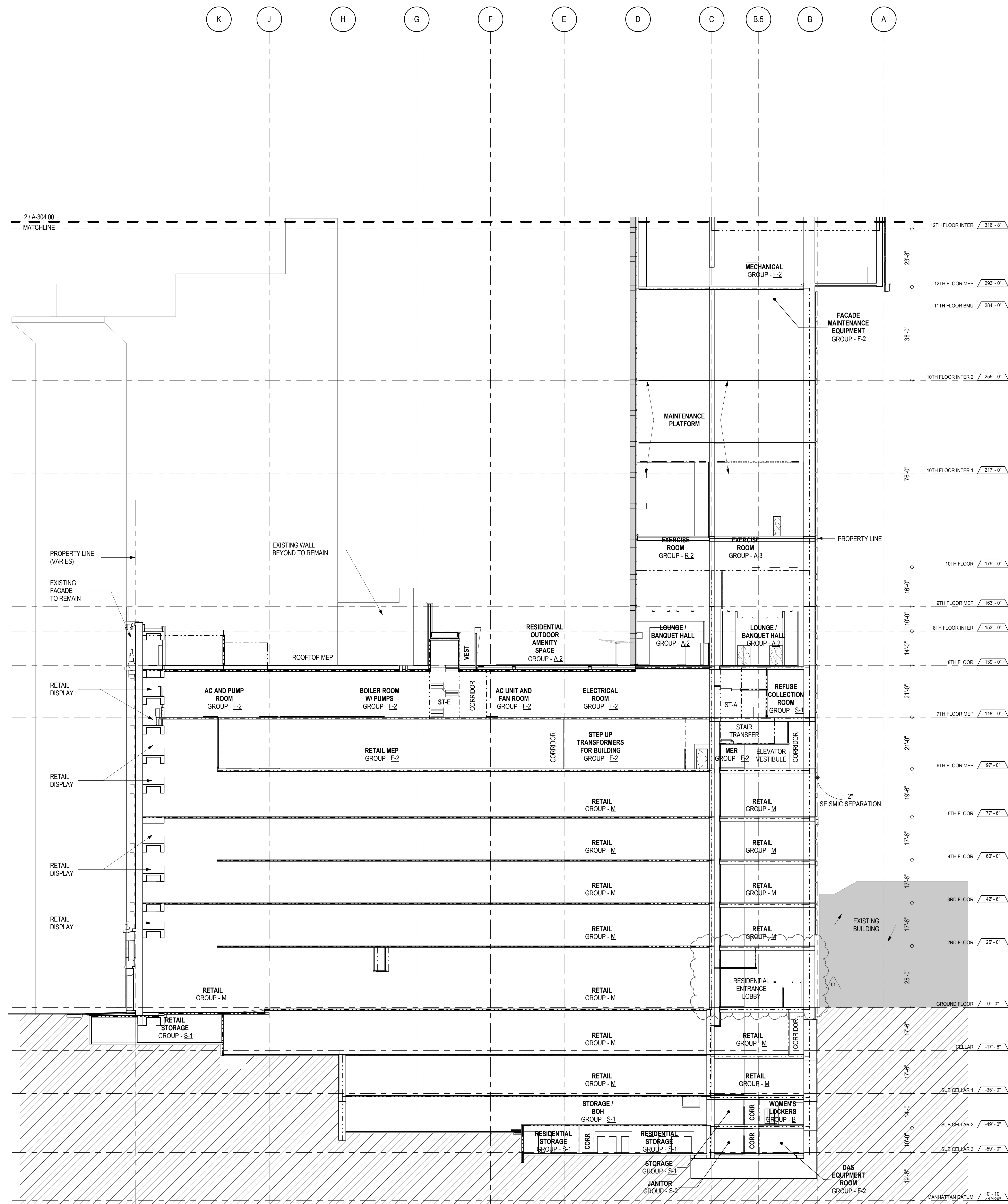
DRAWING TITLE:  
**NORTH-SOUTH BUILDING SECTION**

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	5
	DWG No:	SCALE: 1/8" = 1'-0"
DOB PAGE No:		<b>A-302.01</b>
DOB B-SCAN:		



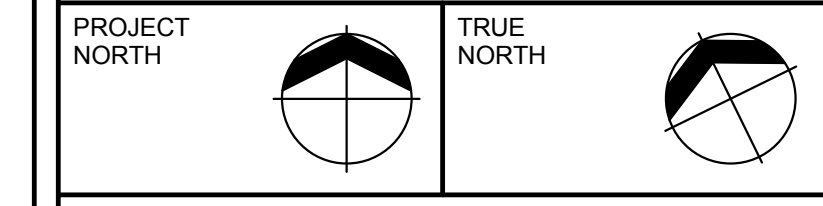
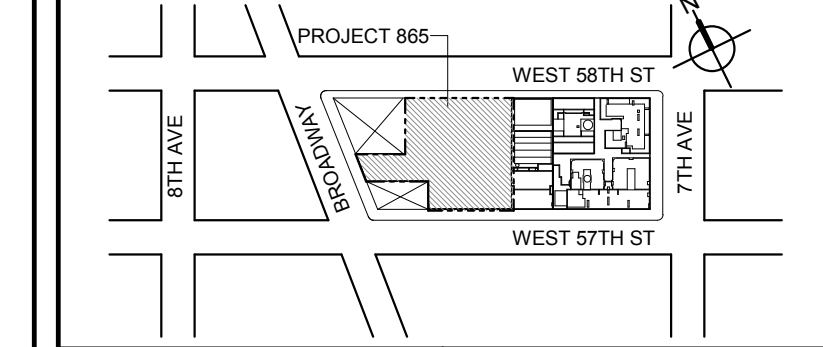


3 EAST-WEST BUILDING SECTION - 12TH FLOOR TO 45TH FLOOR  
A-301  
1/8" = 1'-0"



1 EAST-WEST BUILDING SECTION - SUB CELLAR 3 TO 16TH FLOOR  
A-301  
1/8" = 1'-0"

## KEY PLAN



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 11TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core  
**AAI ARCHITECTS, P.C.**  
4011 WASHINGTON ST. W., 3rd Floor  
TORONTO, ON M5V 1E7 CANADA  
TEL: 416 867 1500 FAX: 416 867 1150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SENUK**  
228 EAST 48th STREET  
NEW YORK, NY 10017 USA  
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
1501 BROADWAY  
NEW YORK, NY 10036 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Fern Plaza - 380 West 31st Street, 8th Floor  
NEW YORK, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
NEW YORK, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
NEW YORK, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasbarth & Partners LLC**  
11 Hanover Square, 16th Floor  
NEW YORK, NY 10005  
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
50 West 57th Street, 12A  
NEW YORK, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

## NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**EAST-WEST BUILDING SECTION**

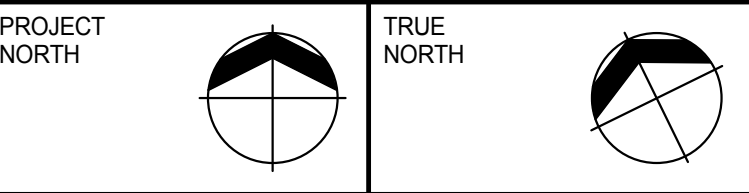
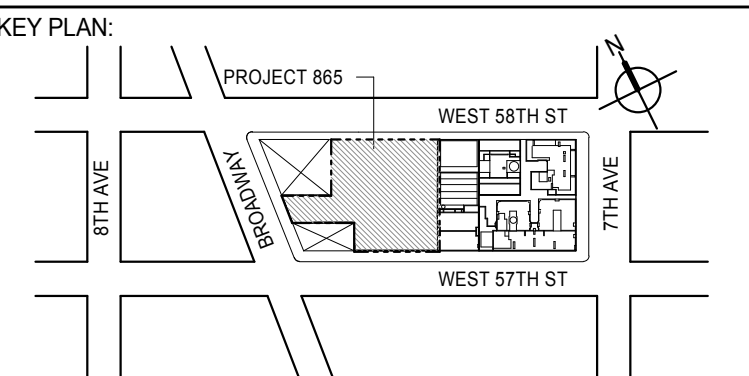
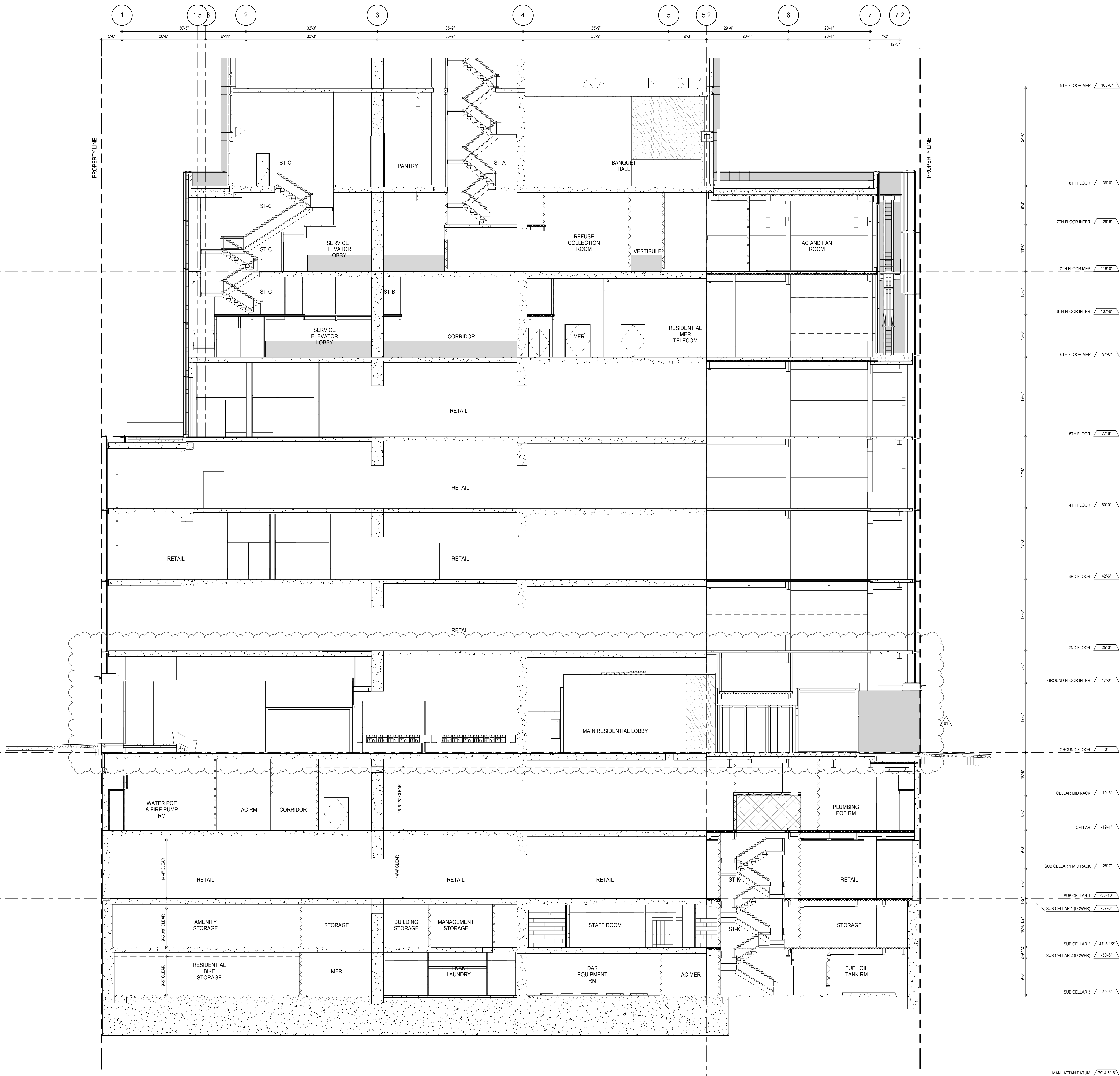
SEAL & SIGNATURE: DATE: 05 DEC 14

PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/16" = 1'-0"

DWG No: **A-304.01**

DOB PAGE No: DOB PAGE No: DOB B-SAN:

DOB EMPLOYEE STAMP: DOB B-SAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 51st Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 4'-0" 8'-0" 16'-0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET  
NEW YORK, NY**

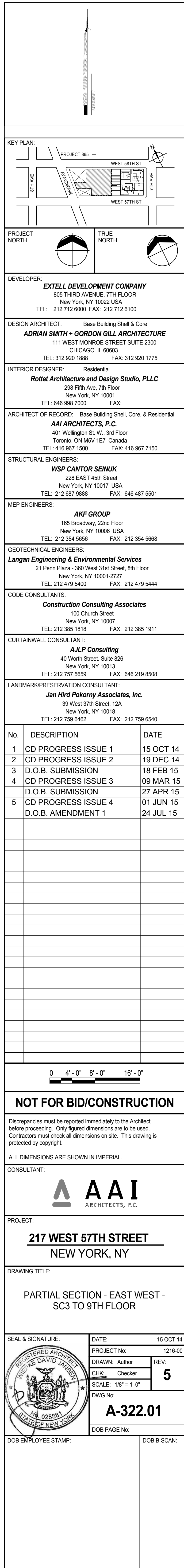
DRAWING TITLE: **PARTIAL SECTION - NORTH SOUTH -  
SC3 TO 9TH FLOOR**

SEAL & SIGNATURE: **DAVID J. HARRIS**  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/8" = 1'-0"  
DWG No: **A-311.01**

DOB PAGE No: **1**  
DOB 5-SCAN: **1**











No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

**NOTE:**

- STAIR HEADROOM CLEARANCE SHOWN IS THE CODE REQUIRED MINIMUM. 1" MUST BE ADDED FOR TOLERANCE AND, WHERE REQUIRED, AN ADDITIONAL 2" FOR FIREPROOFING.
- WHERE FIRE RATED SOFFIT IS BEING PROVIDED, ADD AN ADDITIONAL 1" TO THE SOFFIT ASSEMBLY FOR TOLERANCE.



**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

© 2011 Blackwell Publishing Ltd *Journal of Internal Medicine* 270: 103–111




PROJECT:

217 WEST 57TH STREET  
NEW YORK, NY

DRAWING TITLE:

STAIRS ST-K AND ST-G SECTIONS

SEAL & SIGNATURE:	DATE:	15 OCT 14
-------------------	-------	-----------

	PROJECT NO. 1216-00	
	DRAWN: Author	REV:

CHR: Checker	5
SCALE: 1/4" = 1'-0"	



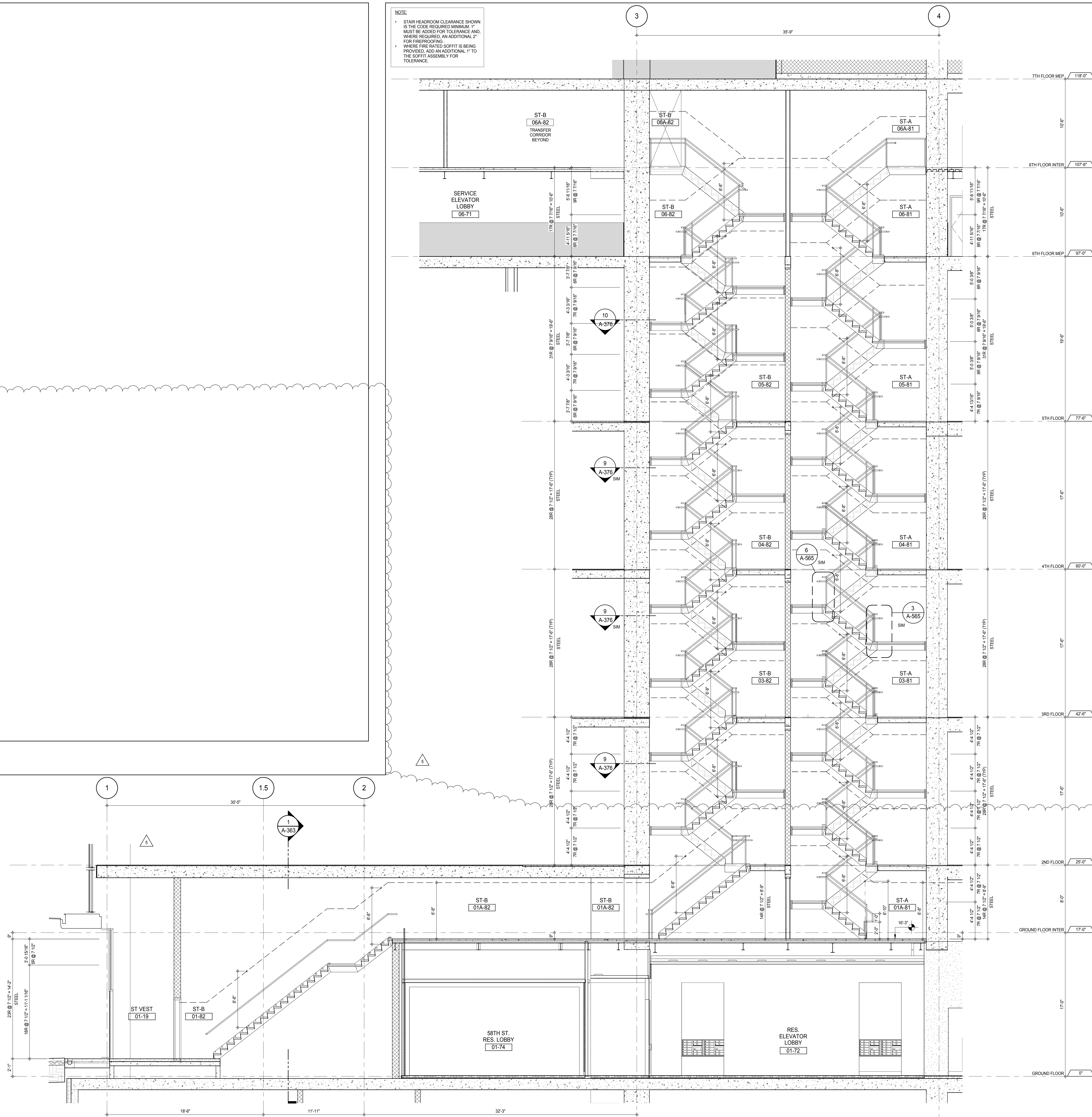
STATE OF NEW YORK

DOB EMPLOYEE STAMP:	DOB B-SCAN:
---------------------	-------------



[illegible]



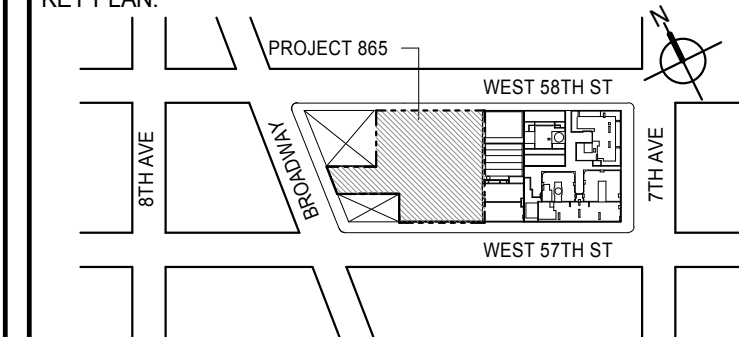


STAIRS ST-A &amp; ST-B SECTION LOOKING EAST - GROUND FLOOR TO 6TH FLOOR INTER

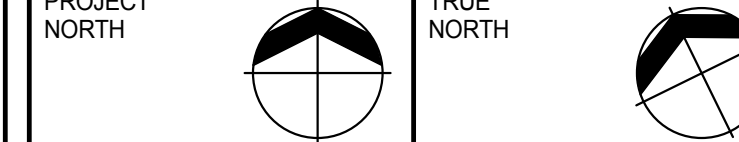
A-376  
1/4" = 1'-0"

1

## KEY PLAN



## PROJECT NORTH



## DEVELOPER:

**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

## DESIGN ARCHITECT:

Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

## INTERIOR DESIGNER:

Residential  
**Rottet Architecture and Design Studio, PLLC**  
228 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

## ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 Wellington St., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

## STRUCTURAL ENGINEERS:

**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

## MEP ENGINEERS:

**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5655 FAX: 212 354 5668

## GEOTECHNICAL ENGINEERS:

**Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 51st Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

## CODE CONSULTANTS:

**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1818 FAX: 212 385 1911

## CURTAINWALL CONSULTANT:

**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 5559 FAX: 646 219 8508

## LANDMARK/PRESERVATION CONSULTANT:

**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 2'-0" 4'-0" 8'-0"

## NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

## CONSULTANT:



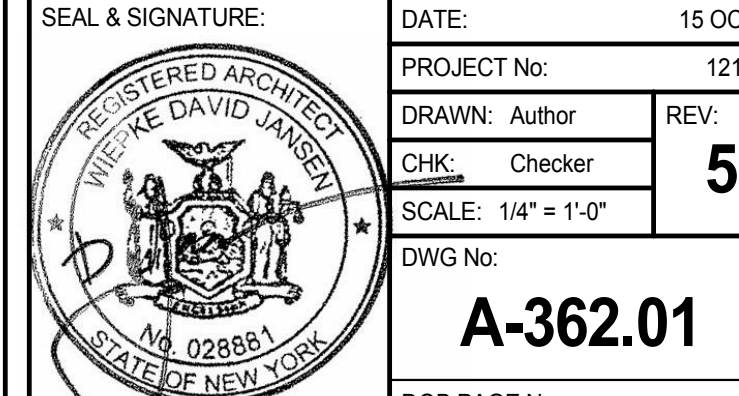
## PROJECT:

**217 WEST 57TH STREET**  
NEW YORK, NY

## DRAWING TITLE:

**STAIRS ST-A AND ST-B SECTIONS**

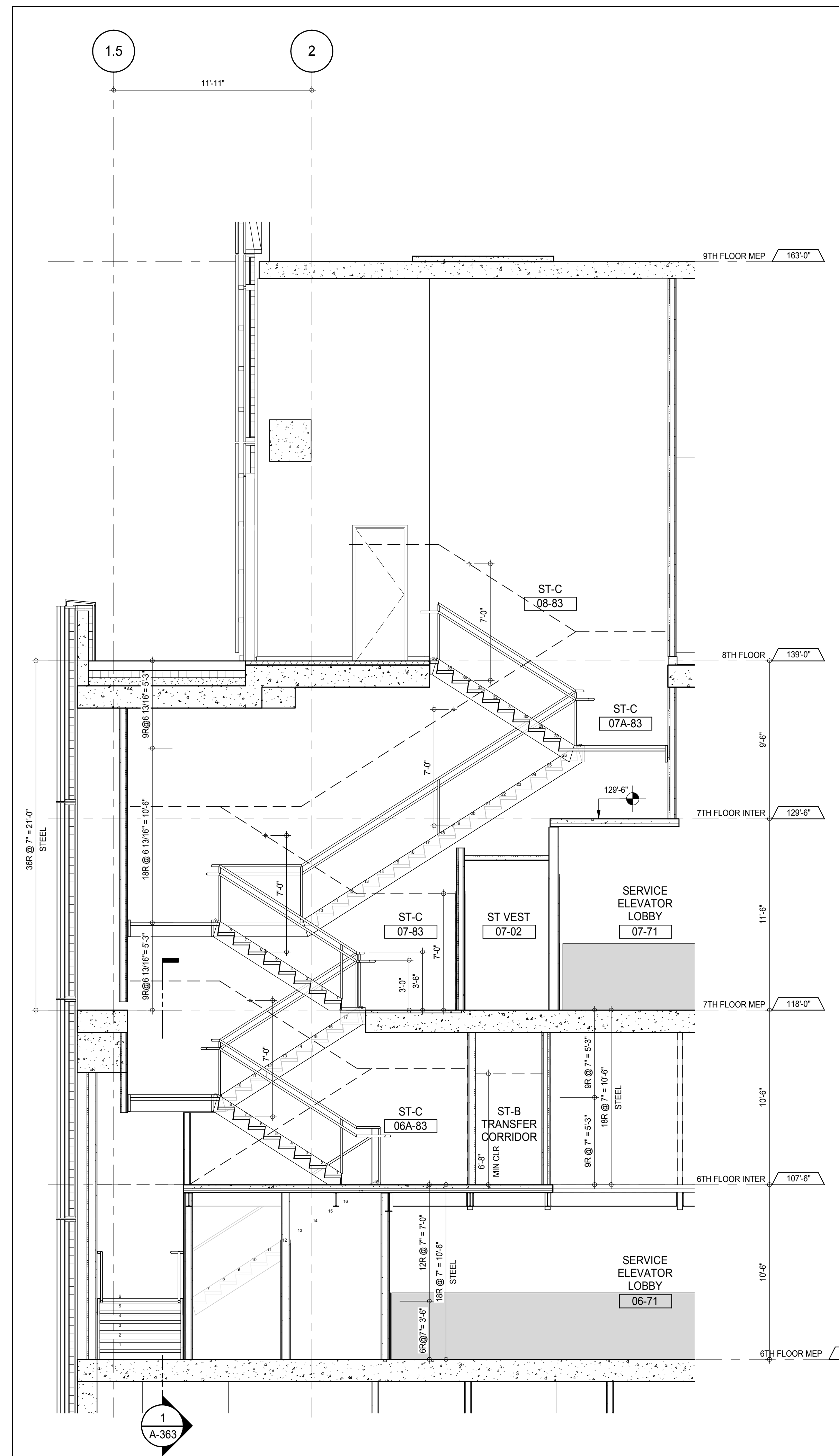
## SEAL &amp; SIGNATURE



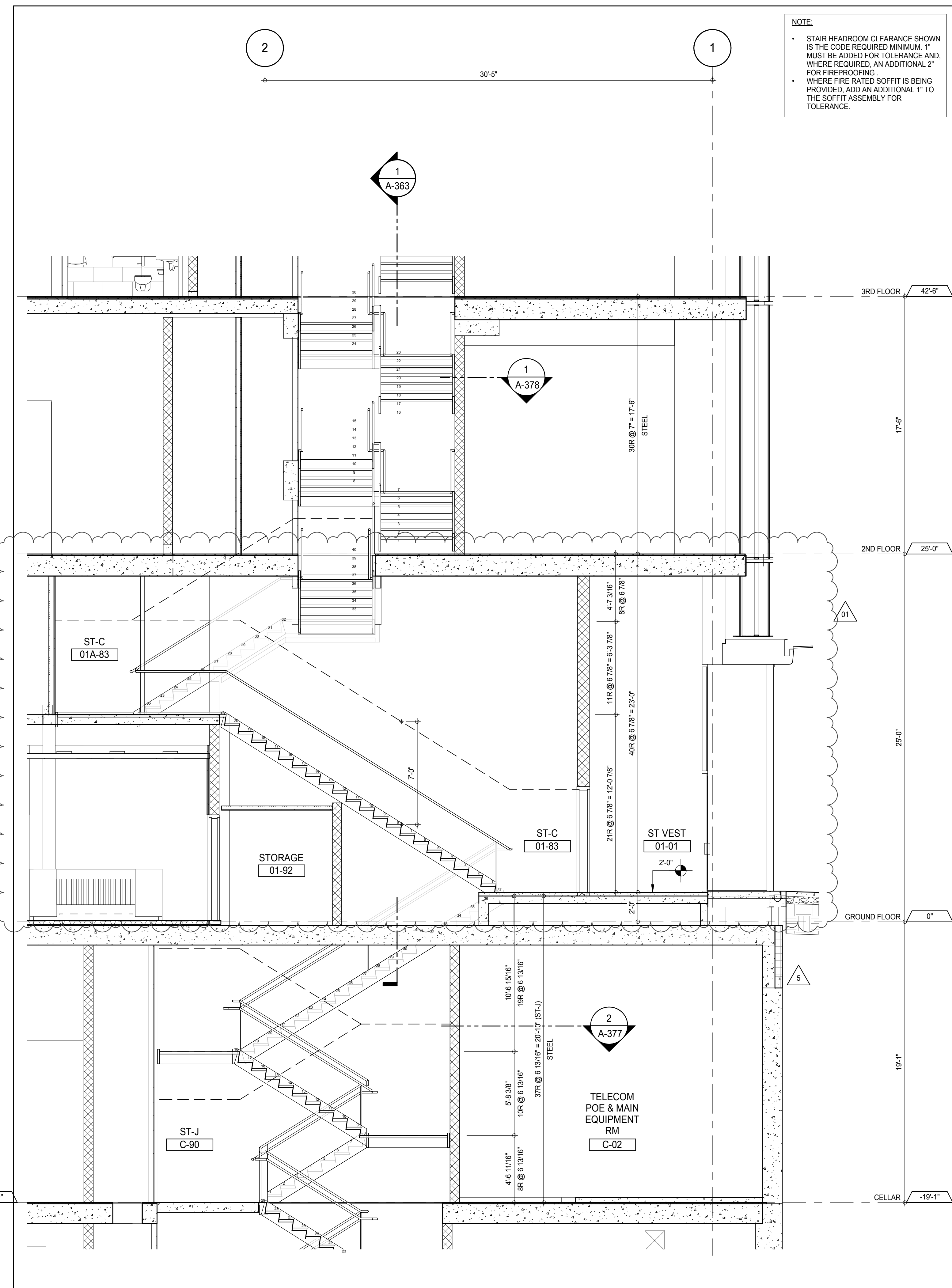
## DOB EMPLOYEE STAMP:

DOB PAGE No: DOB 5-SCAN:

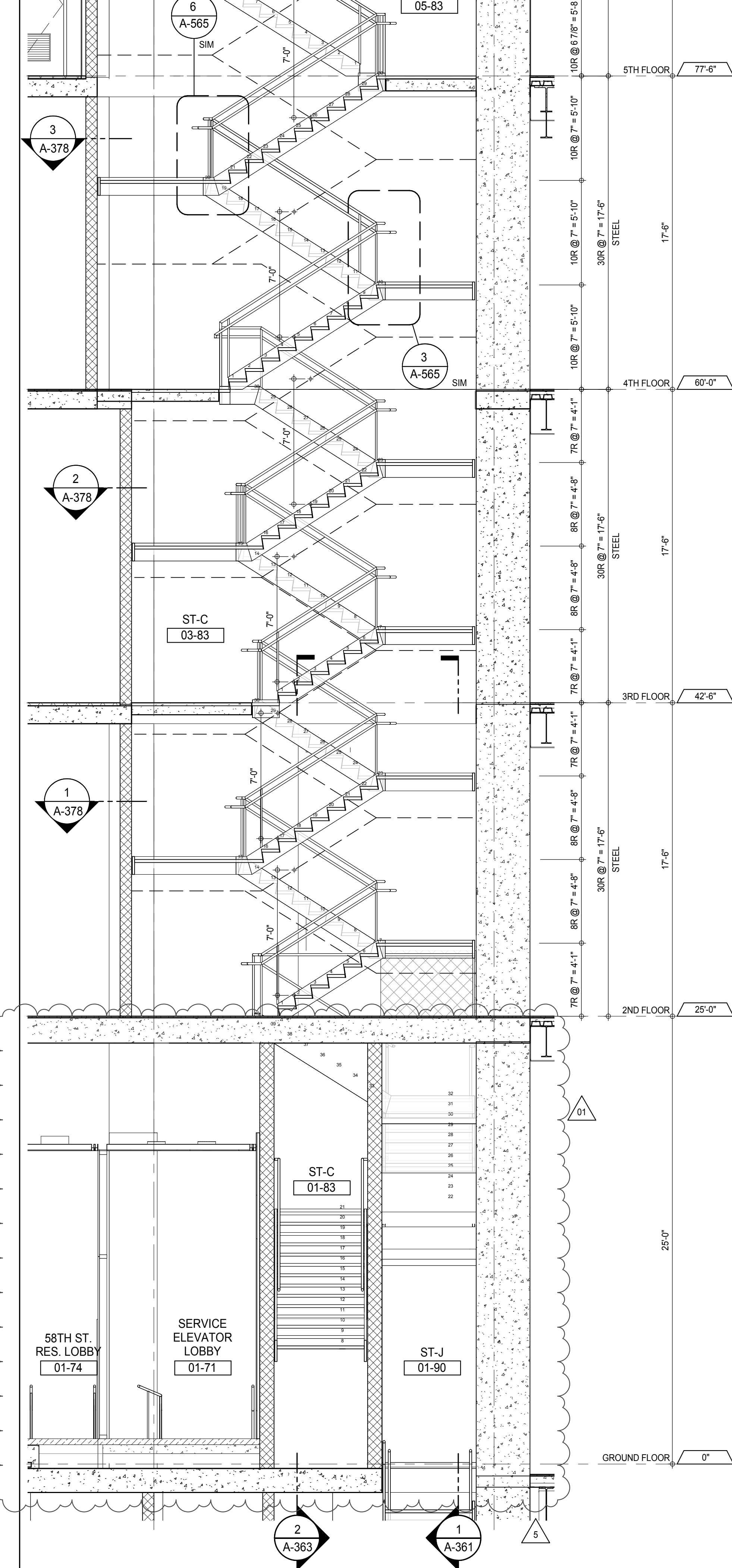




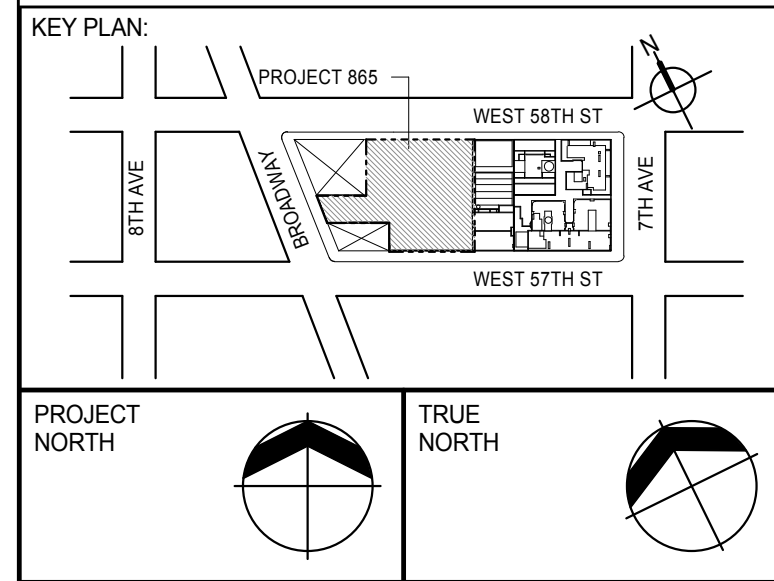
STAIR ST-C SECTION LOOKING EAST - 6TH TO 8TH FLOORS  
A-114  
1/4" = 1'-0"



STAIRS ST-C AND ST-J NORTH-SOUTH SECTION LOOKING WEST - CELLAR TO 3RD FLOOR  
A-383  
1/4" = 1'-0"



STAIR ST-C SECTION LOOKING SOUTH - GROUND FLOOR TO 7TH FLOOR MEP  
A-381  
1/4" = 1'-0"



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**  
**AAI ARCHITECTS, P.C.**  
401 Wellington St W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10008 USA  
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 51st Street, 8th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0' 2'-0" 4'-0" 8'-0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

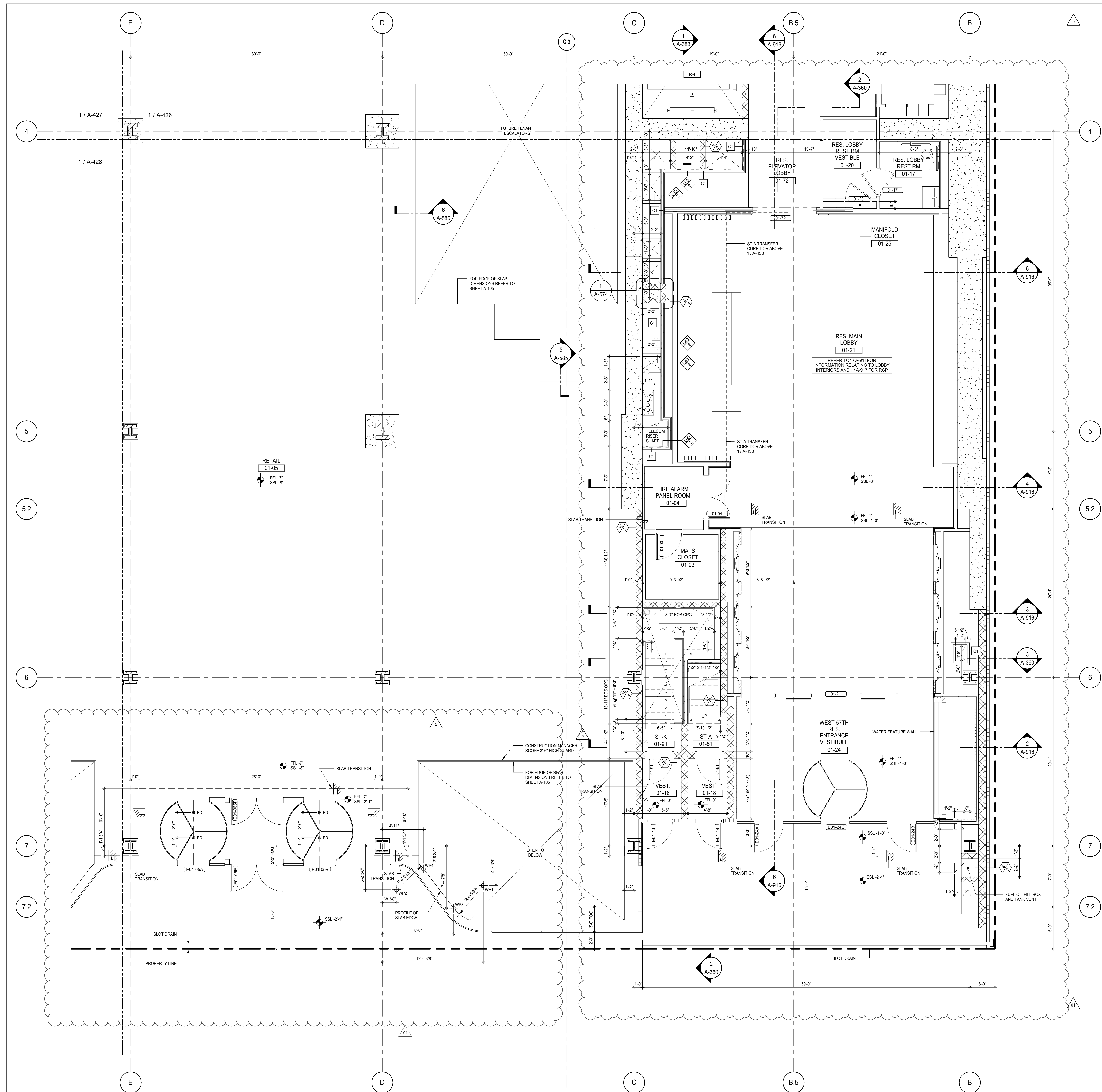
PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **STAIRS ST-C AND ST-J SECTIONS**

SEAL & SIGNATURE: **DAVID L. HARRIS** DATE: 15 OCT 14  
PROJECT No: 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: 1/4" = 1'-0"  
DWG No: **A-363.01**

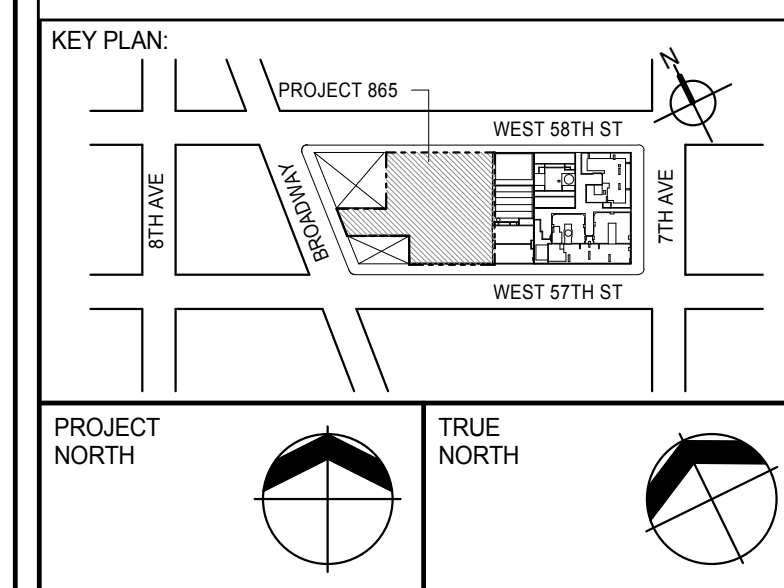
DOB PAGE No: DOB PAGE No: DOB 5-SAN:





## SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS
- EDGE OF SLAB IS 1/4" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave., 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 31st Street, 8th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 2'-0" 4'-0" 8'-0"

## NOT FOR BID/CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:

**GROUND FLOOR PART PLAN**  
(SOUTH-EAST) (MFD-GROUND FLOOR)

SEAL &amp; SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/4" = 1'-0"

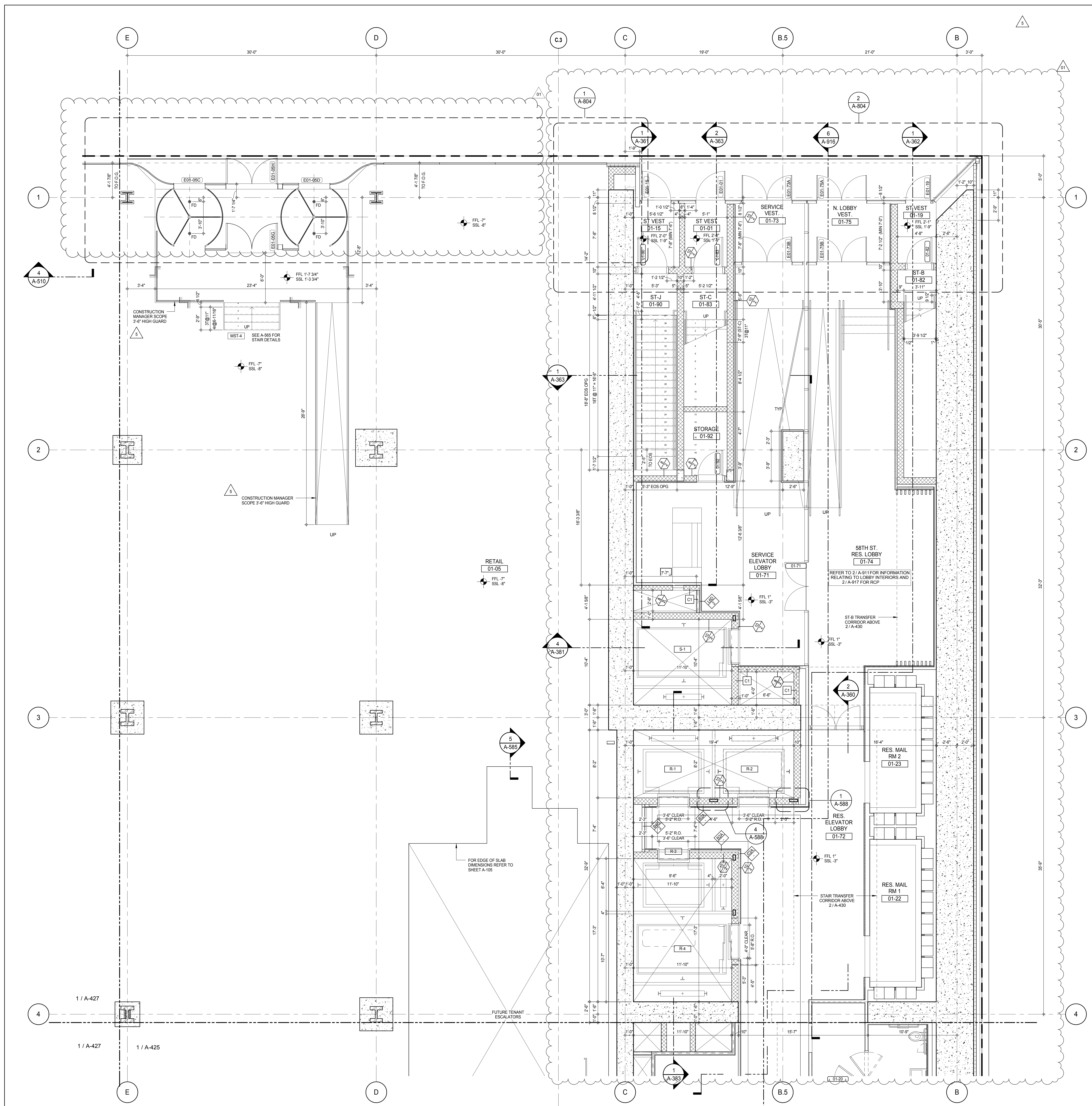
DWG No: A-425.01

DOB PAGE No:

DOB 5-SAN:

DOB EMPLOYEE STAMP:

DOB 5-SAN:

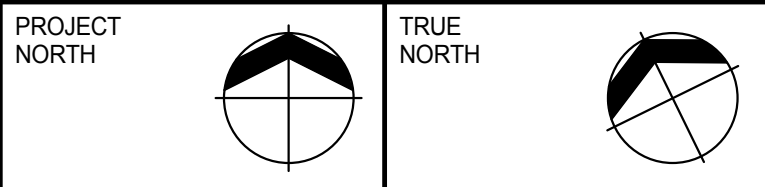
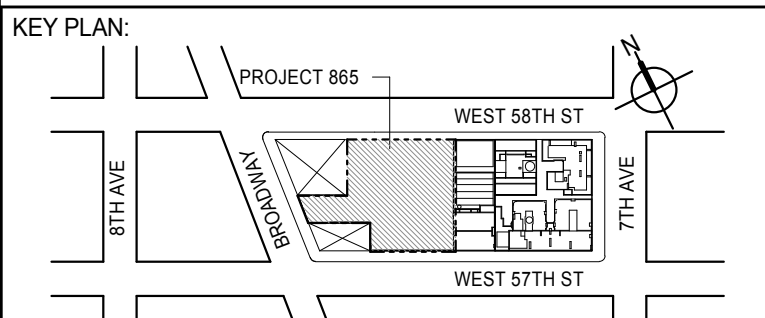


**SHEET NOTES:**

**C1** DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED

**P1** CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS

EDGE OF SLAB IS 1/4" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS



**DEVELOPER:**  
**EXTELL DEVELOPMENT COMPANY**  
 805 THIRD AVENUE, 7TH FLOOR  
 NEW YORK, NY 10022 USA  
 TEL: 212 712 6000 FAX: 212 712 6100

**DESIGN ARCHITECT:** Base Building Shell & Core  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
 111 WEST MONROE STREET SUITE 2300  
 CHICAGO, IL 60603  
 TEL: 312 920 1888 FAX: 312 920 1775

**INTERIOR DESIGNER:** Residential  
**Rottet Architecture and Design Studio, PLLC**  
 228 Fifth Ave, 7th Floor  
 New York, NY 10001  
 TEL: 646 989 7000 FAX:

**ARCHITECT OF RECORD:** Base Building Shell, Core, & Residential  
**AAI ARCHITECTS, P.C.**  
 401 Westinghouse St., 3rd Floor  
 Toronto, ON M5V 1E7 Canada  
 TEL: 416 967 1500 FAX: 416 967 7150

**STRUCTURAL ENGINEERS:**  
**WSP CANTOR SEINUK**  
 228 EAST 45th Street  
 New York, NY 10017 USA  
 TEL: 212 887 8888 FAX: 646 487 5501

**MEP ENGINEERS:**  
**AKF GROUP**  
 165 Broadway, 22nd Floor  
 New York, NY 10006 USA  
 TEL: 212 354 5656 FAX: 212 354 5668

**GEOTECHNICAL ENGINEERS:**  
**Langan Engineering & Environmental Services**  
 21 Penn Plaza - 360 West 51st Street, 9th Floor  
 New York, NY 10001-2727  
 TEL: 212 479 5400 FAX: 212 479 5444

**CODE CONSULTANTS:**  
**Construction Consulting Associates**  
 100 Church Street  
 New York, NY 10007  
 TEL: 212 385 6181 FAX: 212 385 1911

**CURTAINWALL CONSULTANT:**  
**AJLP Consulting**  
 40 Worth Street, Suite 826  
 New York, NY 10013  
 TEL: 212 757 6559 FAX: 646 219 8508

**LANDMARK/PRESERVATION CONSULTANT:**  
**Jan Hird Pokorny Associates, Inc.**  
 39 West 37th Street, 12A  
 New York, NY 10018  
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 2'-0" 4'-0" 8'-0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

**CONSULTANT:**  
**AAI**  
 ARCHITECTS, P.C.

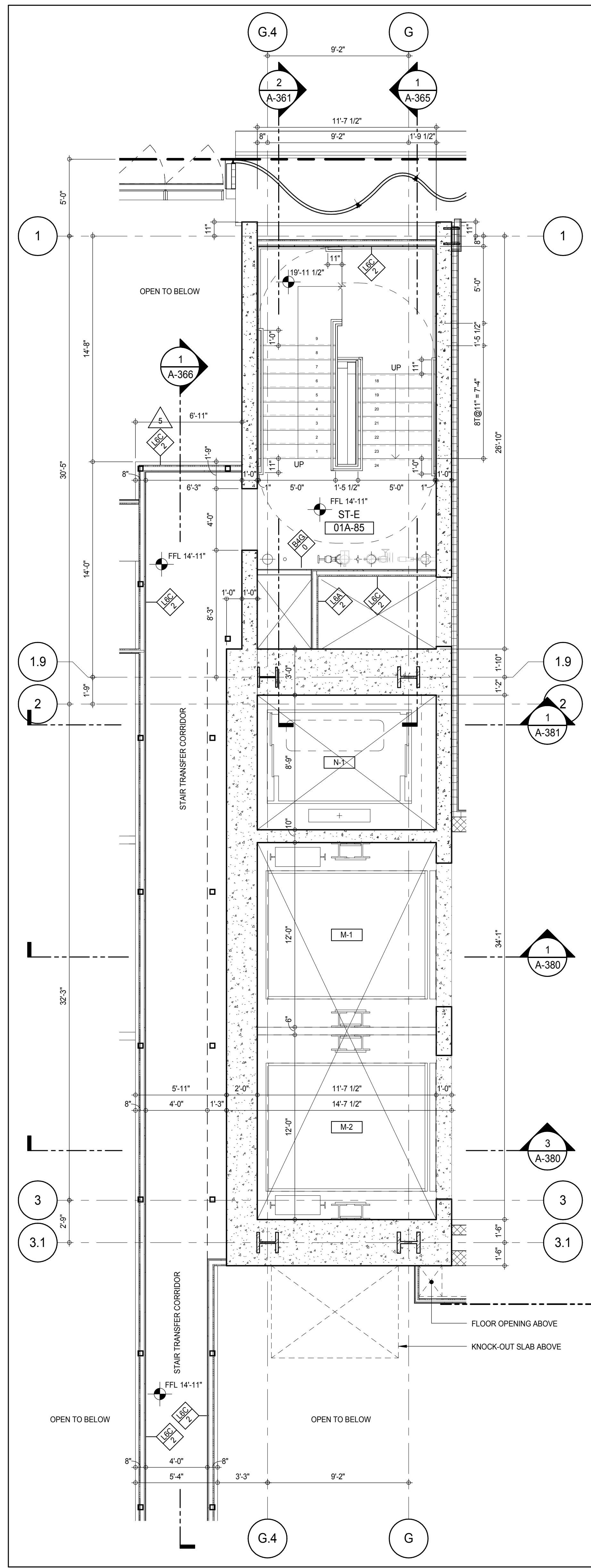
**PROJECT:**  
**217 WEST 57TH STREET**  
 NEW YORK, NY

**DRAWING TITLE:**  
**GROUND FLOOR PART PLAN**  
**(NORTH-EAST) (MFD-GROUND FLOOR)**

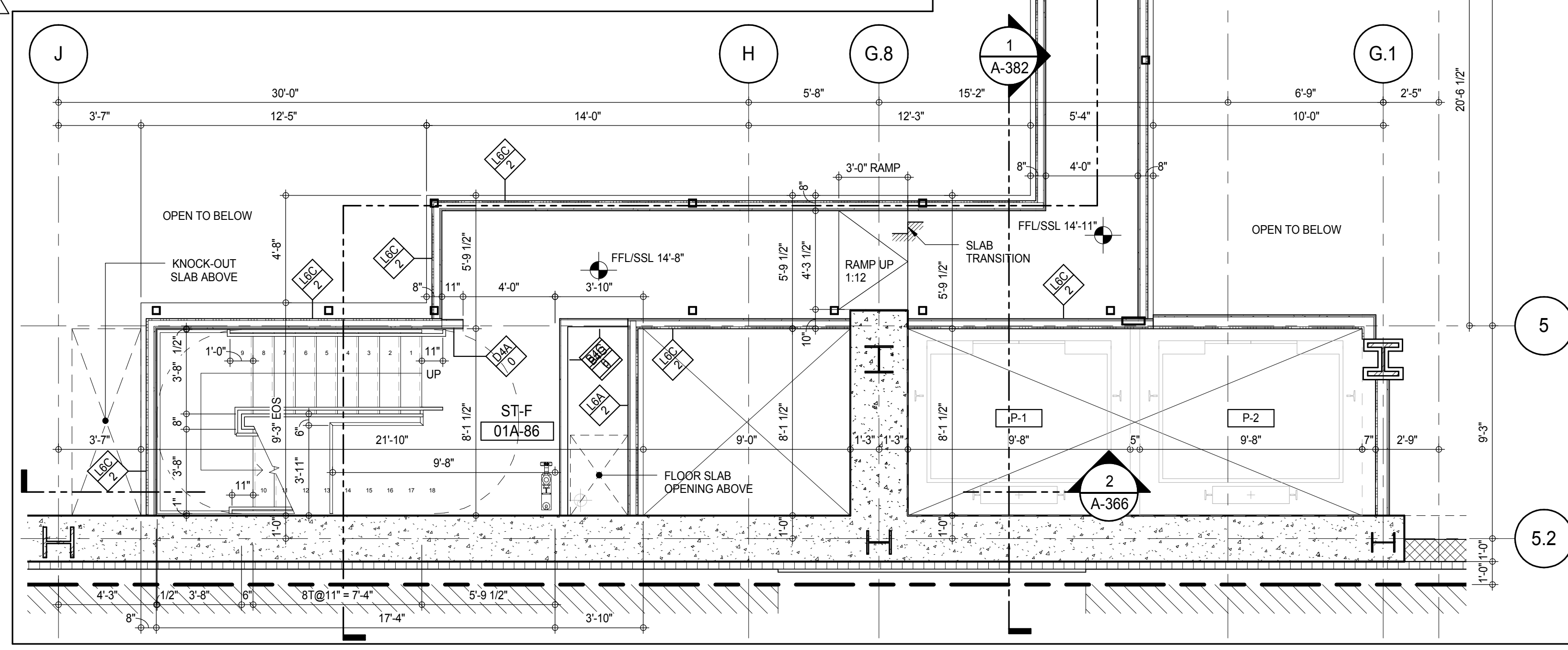
**SEAL & SIGNATURE:**  
 PROJECT No: 1216-00  
 DRAWN: Author  
 CHK: Checker  
 SCALE: 1/4" = 1'-0"  
 DWG No: **A-426.01**

DOB EMPLOYEE STAMP: DOB PAGE No: DOB 5-SCAN:

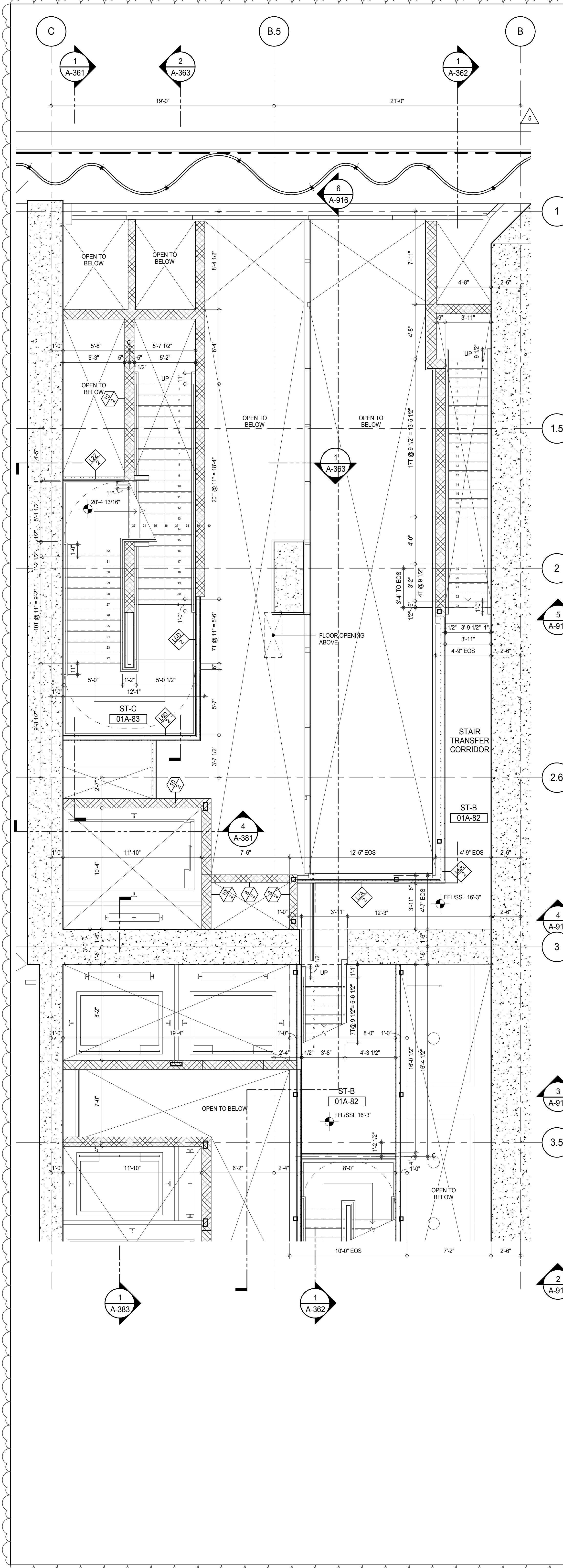




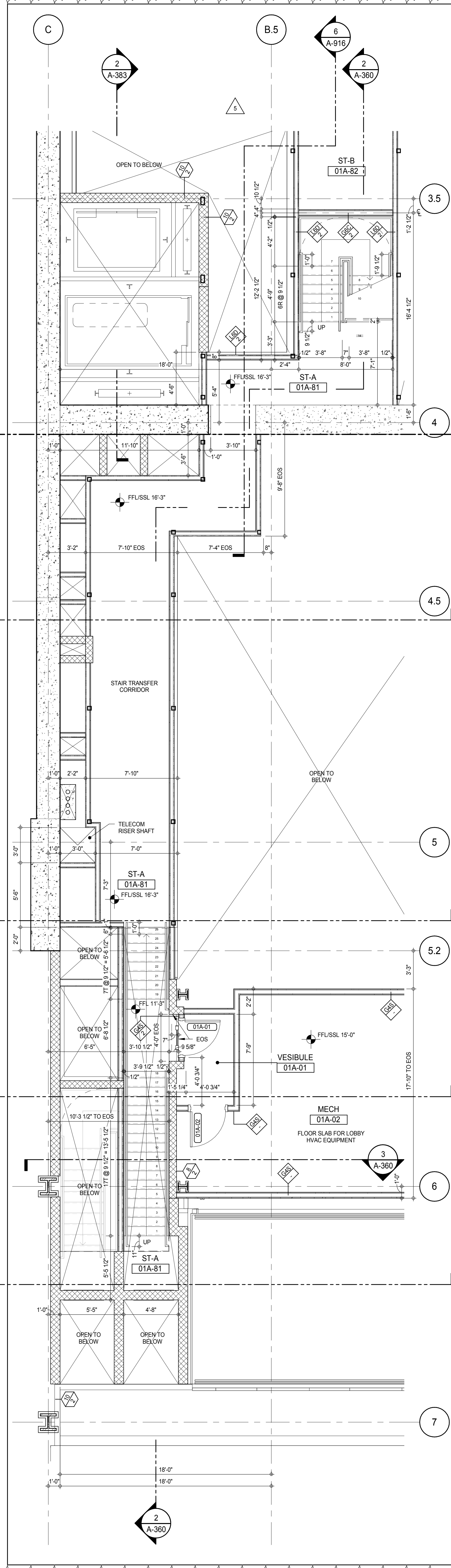
GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN  
A-106  
1/4" = 1'-0"



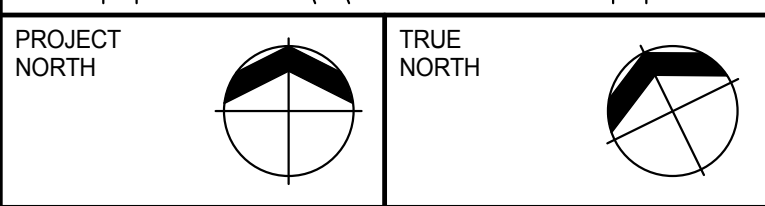
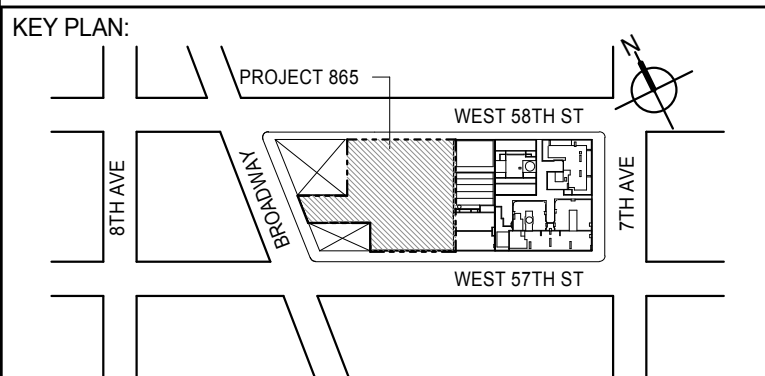
GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN  
A-106  
1/4" = 1'-0"



GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN  
A-106  
1/4" = 1'-0"



GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN  
A-106  
1/4" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**  
**AAI ARCHITECTS, P.C.**  
401 West 57th St, 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10008 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**  
21 Penn Plaza - 360 West 51st Street, 9th Floor  
New York, NY 10001-2727  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 6181 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**  
39 West 57th Street, 12A  
New York, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15

0 2'-0" 4'-0" 8'-0"

**NOT FOR BID/CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET  
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN  
INTERMEDIATE (STAIR TRANSFER)  
(MFD-GROUND FLOOR  
INTERMEDIATE)**

SEAL & SIGNATURE:	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	REV: 5
SCALE: 1/4" = 1'-0"	
DWG No: <b>A-430.01</b>	
DOB EMPLOYEE STAMP:	DOB PAGE No:
	DOB 5-NAN:



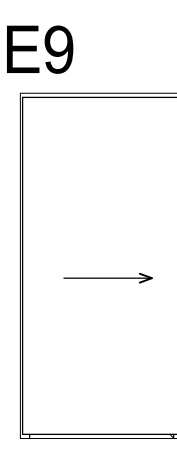
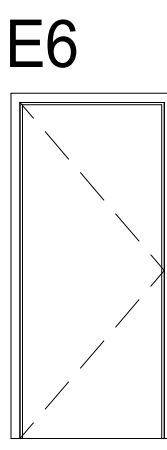
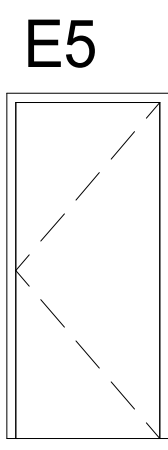
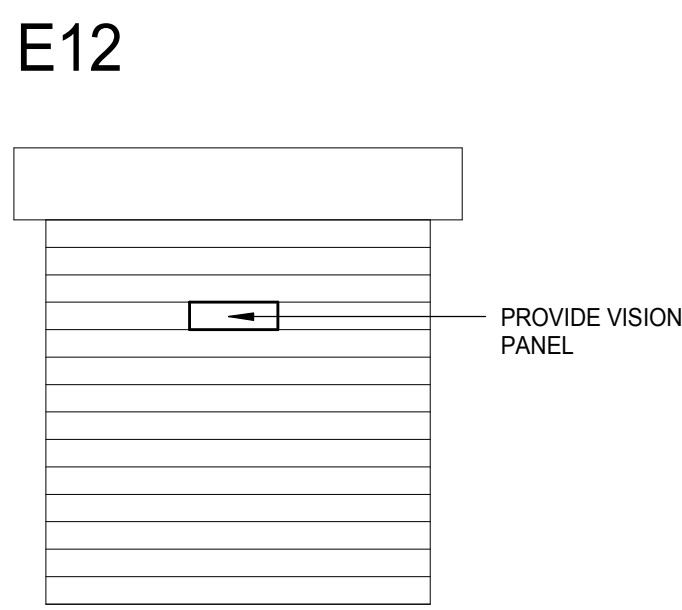
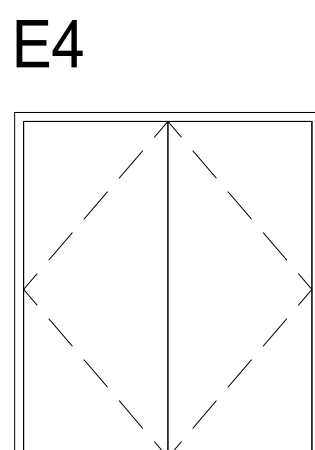
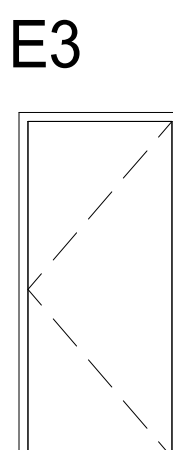
30' MAX. ELEV. SHEET SIZE  
FILE NAME: C:\Users\jgallagher\OneDrive\Documents\217 West 57th Street\217 West 57th Street.dwg  
PLOT DATE: 12/16/2024 10:00:00 AM  
PLOT BY: jgallagher

LEVEL	DOOR NUMBER	FIRE RATING (MIN.) (SELF-CLOSING)	ACOUSTIC RATING (STC)	TYPE	WIDTH	HEIGHT	DOOR		MATERIAL	FINISH	FRAME		HARDWARE E SET	COMMENTS		
							PANEL 1	PANEL 2			MATERIAL	FINISH				
SUB CELLAR 3	SC3-01	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"	HM	PT	HM1	HM	PT	1		
SUB CELLAR 3	SC3-02	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	2	
SUB CELLAR 3	SC3-03	90		B3	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	7	REFER TO MECHANICAL FOR LOUVER SIZE
SUB CELLAR 3	SC3-04	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	2	
SUB CELLAR 3	SC3-05	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-06A	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	3	
SUB CELLAR 3	SC3-06B	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-07	UNLABELED		D2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	12	
SUB CELLAR 3	SC3-09	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-10A	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-10B	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-11	90		B2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	6	
SUB CELLAR 3	SC3-12	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-13	180		A1	3'-0"	6'-6"	1-3/4"	3'-0"		HM	PT	HM3	HM	PT	7	
SUB CELLAR 3	SC3-14	180		A1	3'-0"	6'-6"	1-3/4"	3'-0"		HM	PT	HM3	HM	PT	7	
SUB CELLAR 3	SC3-15	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-16	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-17	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-18	UNLABELED		D2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-19	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-20A	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-20B	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-20C	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-21A	UNLABELED		D2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-21B	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	56	
SUB CELLAR 3	SC3-22	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	73	
SUB CELLAR 3	SC3-23	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-24A	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-24B	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	80	
SUB CELLAR 3	SC3-25A	UNLABELED		D2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-25B	180		A2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	81	
SUB CELLAR 3	SC3-26	180		A2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	81	
SUB CELLAR 3	SC3-26A	45		C1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	73	
SUB CELLAR 3	SC3-26B	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-26C	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-26D	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-29C	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 3	SC3-29D	90		B4	5'-0"	4'-2"	3/4"			HM	PT	HM	HM	PT	4	FIRE SHUTTER
SUB CELLAR 3	SC3-30A	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		PT	HM7	HM1	HM	PT	1	
SUB CELLAR 3	SC3-33	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 3	SC3-72	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	15	
SUB CELLAR 3	SC3-73A	UNLABELED		D2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	27	
SUB CELLAR 3	SC3-91A	90		B1	3'-0-1/2"	7'-2"	1-3/4"	3'-0-1/2"		HM	PT	HM1	HM	PT	16	DOOR TO AN EXIT STAIR
SUB CELLAR 3	SC3-91B	90		B1	3'-0-1/2"	7'-2"	1-3/4"	3'-0-1/2"		HM	PT	HM1	HM	PT	51	DOOR TO AN EXIT STAIR
SUB CELLAR 3	SC3-92	90		B1	3'-0-1/2"	7'-2"	1-3/4"	3'-0-1/2"		HM	PT	HM1	HM	PT	15	DOOR TO AN EXIT STAIR
SUB CELLAR 2 (LOWER)	SC2-14A	180		A1	3'-6"	7'-2"	1-3/4"	3'-6"		HM	PT	HM1	HM	PT	84	
SUB CELLAR 2 (LOWER)	SC2-14B	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	11	
SUB CELLAR 2 (LOWER)	SC2-18A	180		A1	3'-6-1/2"	7'-2"	1-3/4"	3'-6"		HM	PT	HM7	HM	PT	1	DOOR TO AN EXIT STAIR
SUB CELLAR 2 (LOWER)	SC2-18B	180		A1	3'-6-1/2"	7'-2"	1-3/4"	3'-6"		HM	PT	HM7	HM	PT	19	DOOR TO AN EXIT STAIR
SUB CELLAR 2	SC2-01A	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	2	
SUB CELLAR 2	SC2-01B	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	18	
SUB CELLAR 2	SC2-02	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 2	SC2-03	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	20	
SUB CELLAR 2	SC2-04	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	20	
SUB CELLAR 2	SC2-05	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	7	
SUB CELLAR 2	SC2-06A	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	3	
SUB CELLAR 2	SC2-06B	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	3	
SUB CELLAR 2	SC2-07	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 2	SC2-08A	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	3	
SUB CELLAR 2	SC2-08B	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	3	
SUB CELLAR 2	SC2-08C	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	22	
SUB CELLAR 2	SC2-08D	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	22	
SUB CELLAR 2	SC2-09	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	11	
SUB CELLAR 2	SC2-10	90		B2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	6	
SUB CELLAR 2	SC2-11	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	24	
SUB CELLAR 2	SC2-12	180		A2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	24	
SUB CELLAR 2	SC2-13	90		B2	6'-0"	7'-2"	1-3/4"	3'-0"	3'-0"	HM	PT	HM1	HM	PT	24	
SUB CELLAR 2	SC2-15A	UNLABELED		D6	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	1	REFER TO MECHANICAL FOR LOUVER SIZE
SUB CELLAR 2	SC2-15B	UNLABELED		D6	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM4	HM	PT	22	REFER TO MECHANICAL FOR LOUVER SIZE
SUB CELLAR 2	SC2-16	UNLABELED		D2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	79	
SUB CELLAR 2	SC2-17	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	4	
SUB CELLAR 2	SC2-18	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	22	
SUB CELLAR 2	SC2-19	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 2	SC2-20	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 2	SC2-21	90		B2	4'-4"	7'-2"	1-3/4"	1'-2"	3'-2"	HM	PT	HM1	HM	PT	8	
SUB CELLAR 2	SC2-22A	UNLABELED		D1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	82	
SUB CELLAR 2	SC2-22B	180		A1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	7	
SUB CELLAR 2	SC2-23	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	1	
SUB CELLAR 2	SC2-24	90		B1	3'-0"	7'-2"	1-3/4"	3'-0"		HM	PT	HM1	HM	PT	15	
SUB CELLAR 2	SC2-25	90		B2	4'-4											

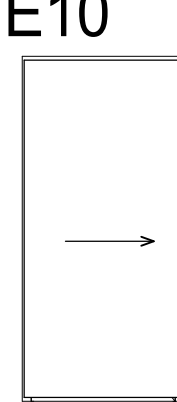
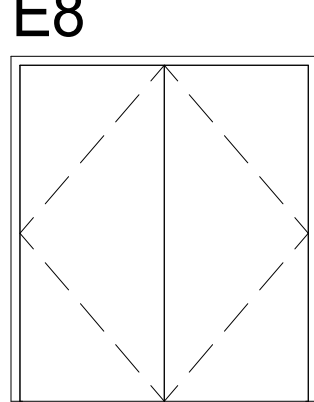
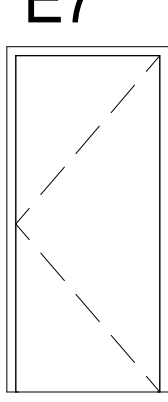


## EXTERIOR DOOR TYPES LEGEND

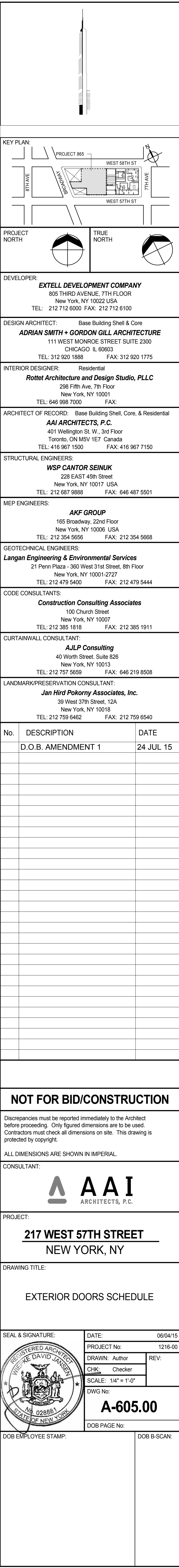
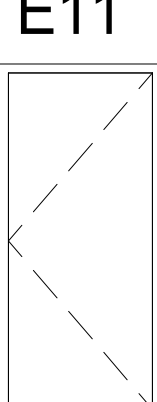
## W-A ZONE



## W-B ZONE



## W-E ZONE





No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
4	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

CONSULTANT:

CONSULTANT:

Λ Λ Λ I



AAI  
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

\_\_\_\_\_

EXTERIOR WALL DETAILS - PODIUM - NORTH

NORTH

SEAL & SIGNATURE:	DATE:	10 DEC 41
-------------------	-------	-----------


DATE:	19 DEC 14
PROJECT No:	1216-00

	DRAWN: Author	REV:
		1

CHR: Checker  
SCALE: 1/4" = 1'-0"



**A-804.01**

	DOB PAGE No:
---	--------------

DOB EMPLOYEE STAMP:	DOB B-SCAN:
---------------------	-------------

[illegible][illegible][illegible][illegible][illegible][illegible][illegible]

FILE NAME: C:\Revit Local Files\EXTELL-003-AA1-TWR-CNF\_hazardium.rvt

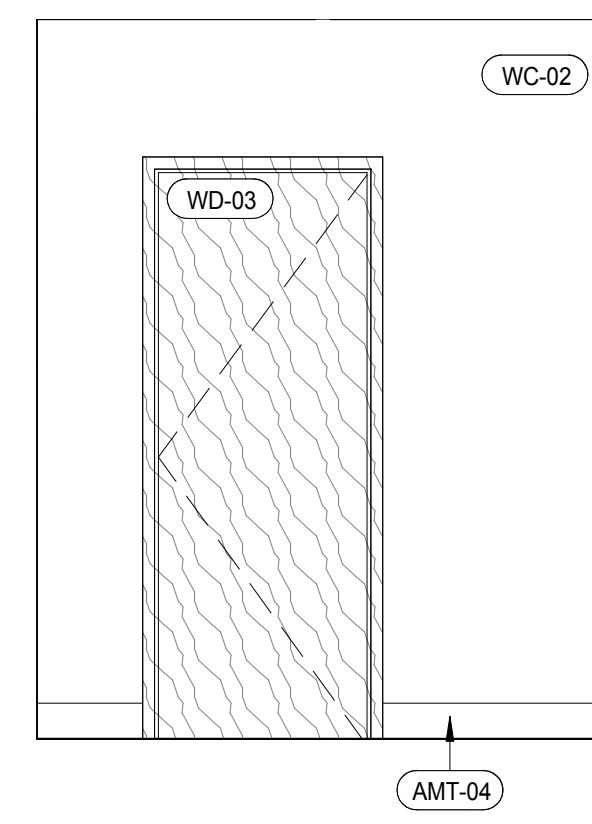




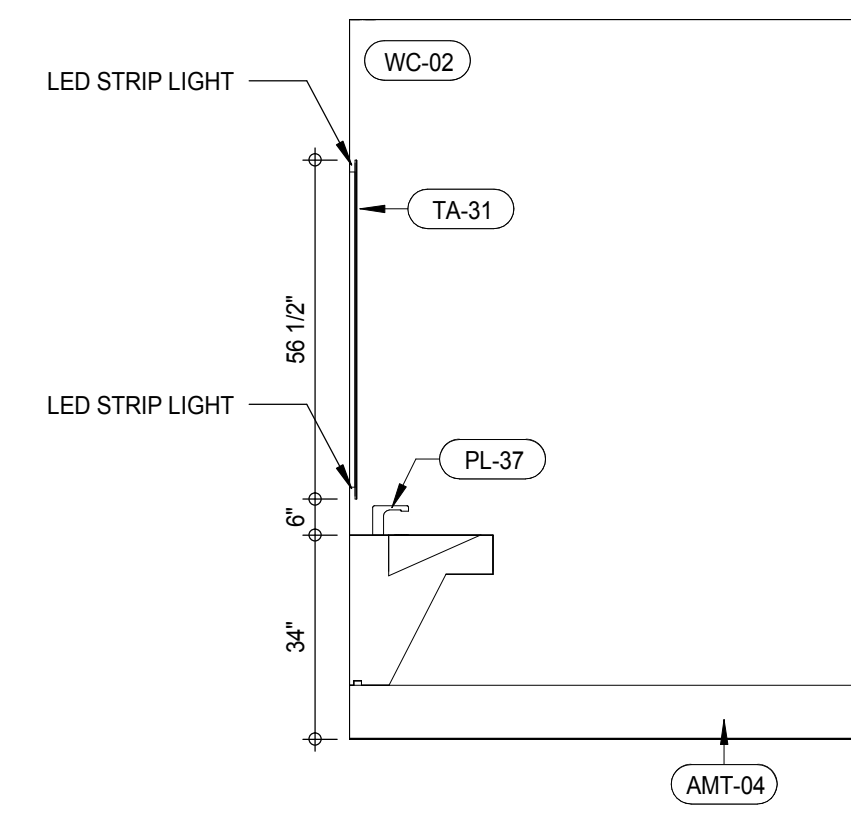




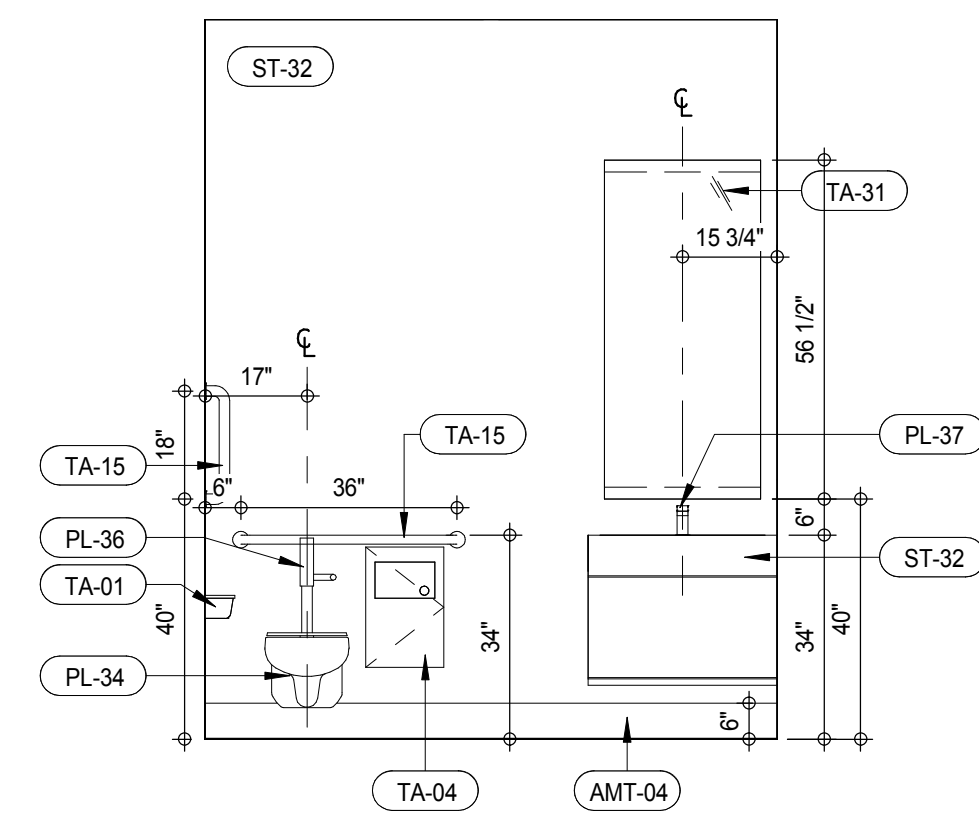




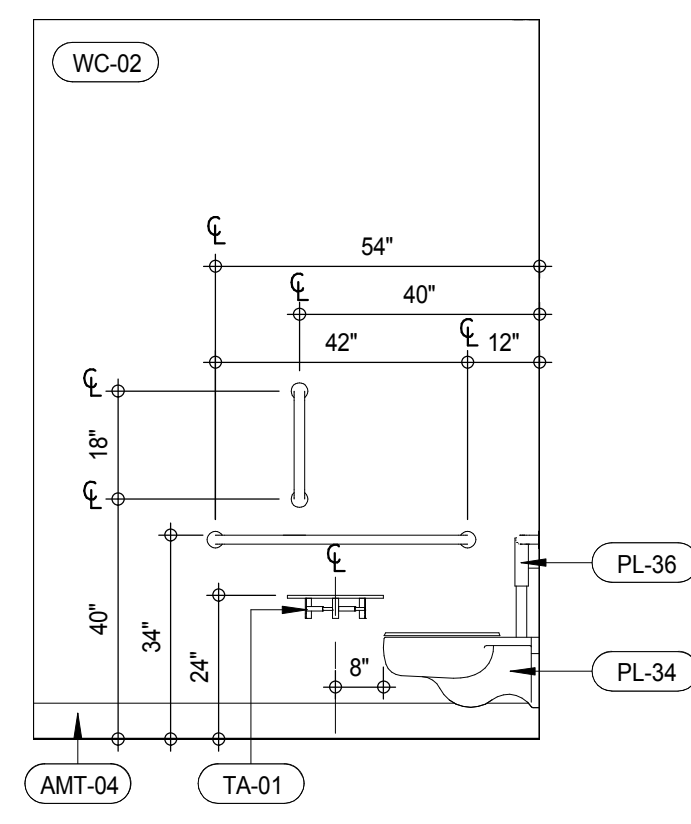
INTERIOR ELEV. - LOBBY REST RM 15  
A-911  
3/8" = 1'-0"



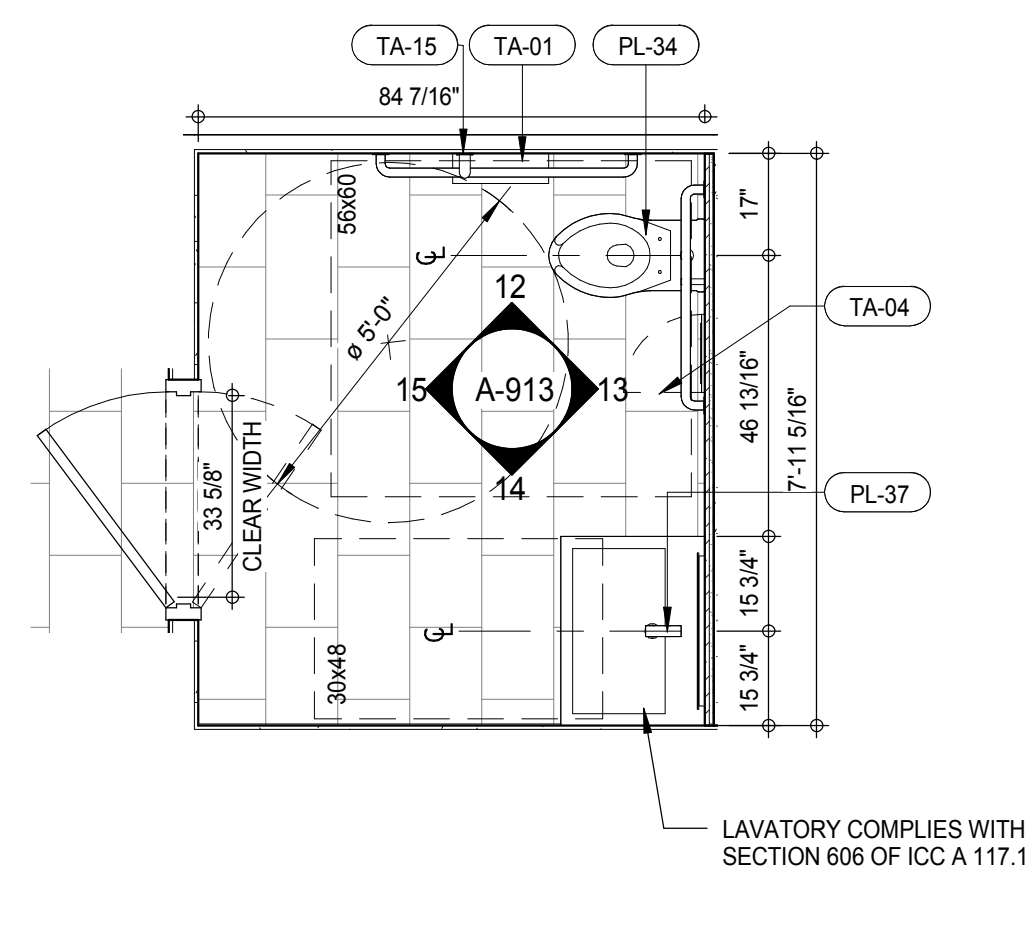
INTERIOR ELEV. - LOBBY REST RM 14  
A-911  
3/8" = 1'-0"



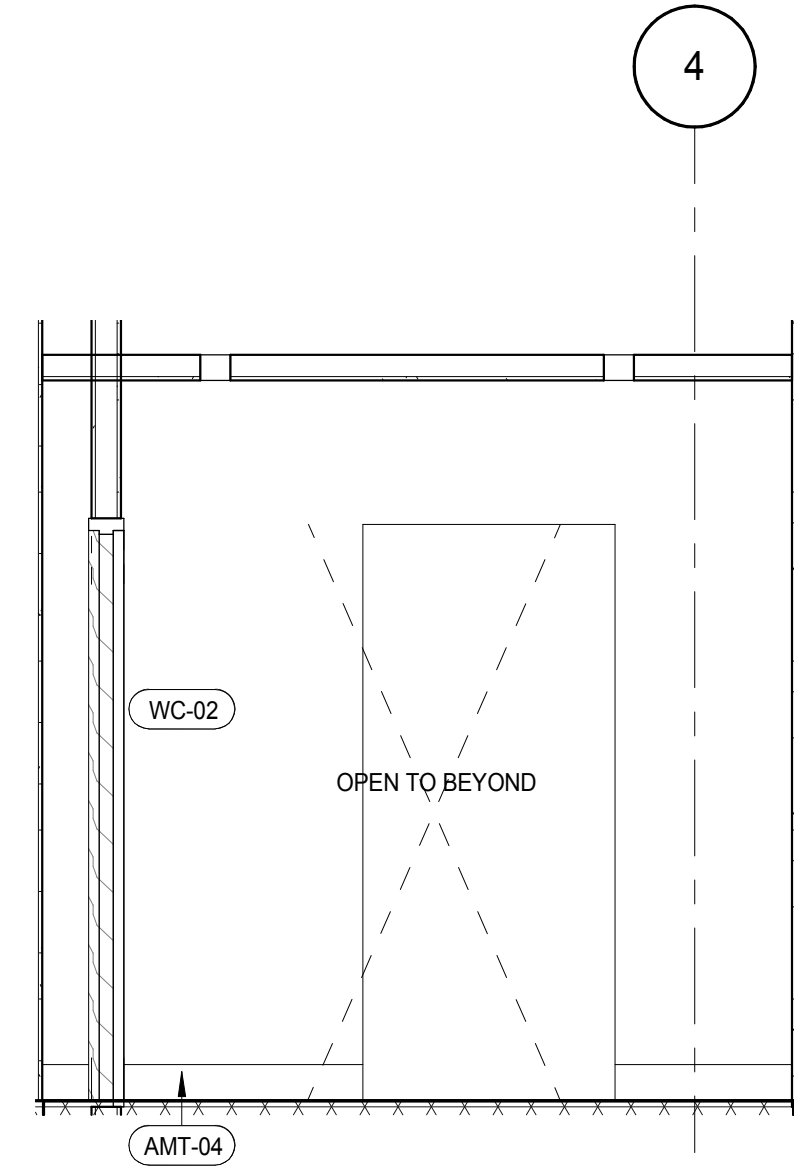
INTERIOR ELEV. - LOBBY REST RM 13  
A-911  
3/8" = 1'-0"



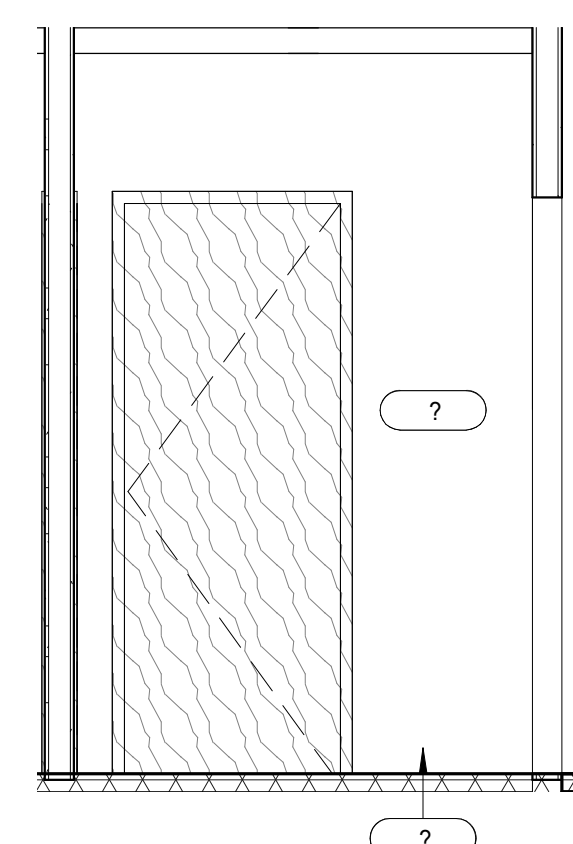
INTERIOR ELEV. - LOBBY REST RM 12  
A-911  
3/8" = 1'-0"



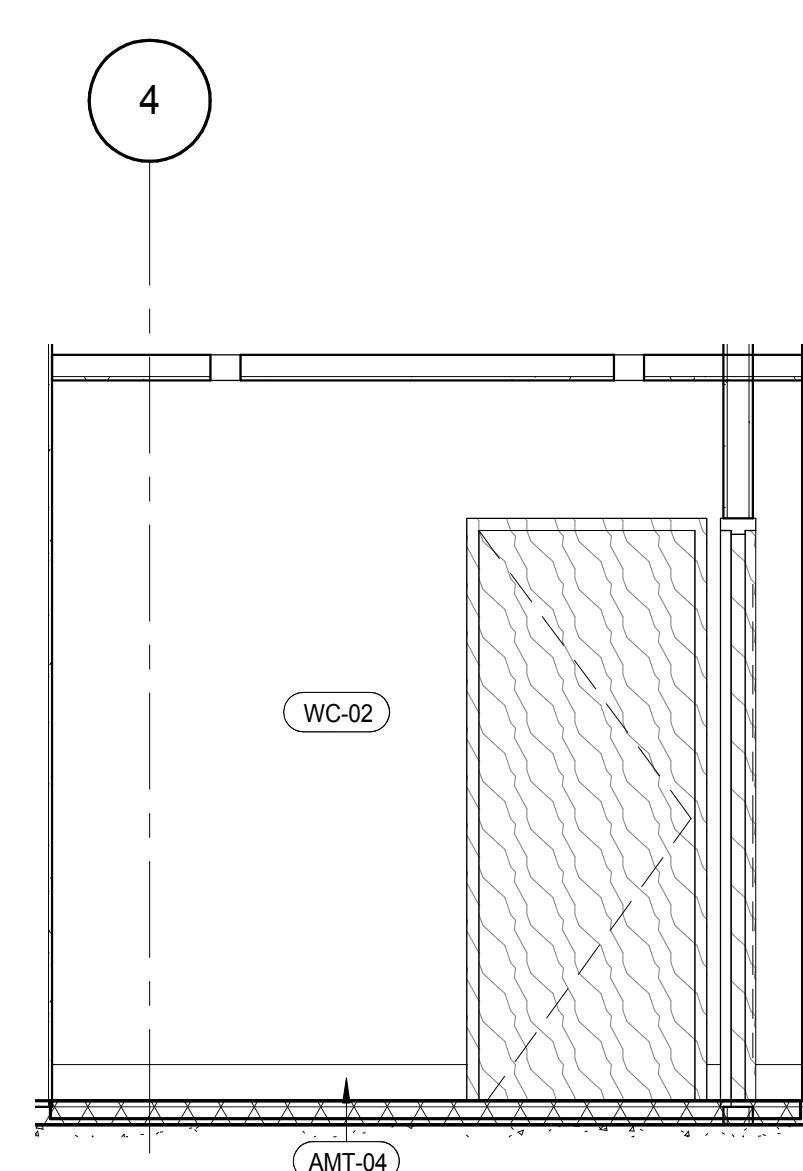
PLAN DETAIL - LOBBY REST RM 11  
A-911  
3/8" = 1'-0"



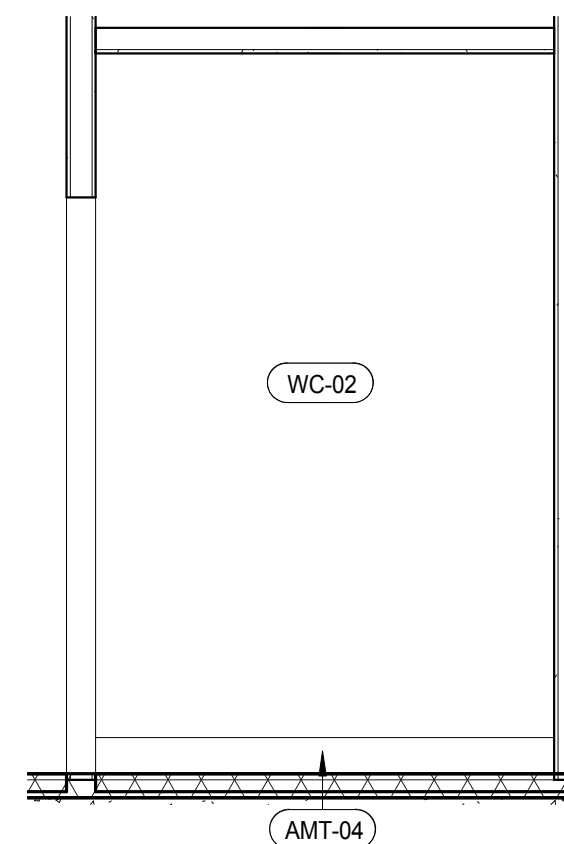
INTERIOR ELEV. - LOBBY REST RM VESTIBULE 10  
A-911  
3/8" = 1'-0"



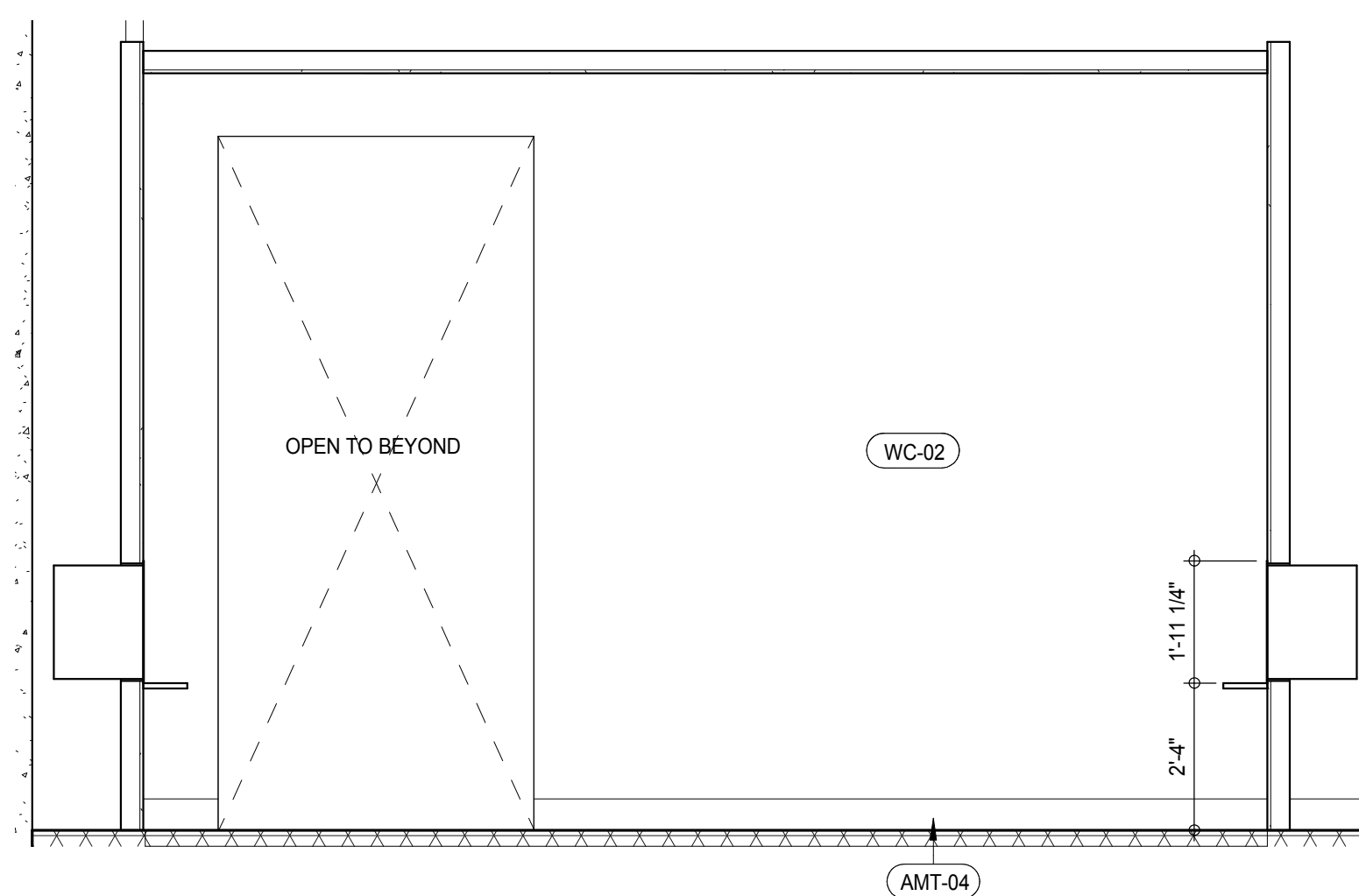
INTERIOR ELEV. - LOBBY REST RM VESTIBULE 9  
A-911  
3/8" = 1'-0"



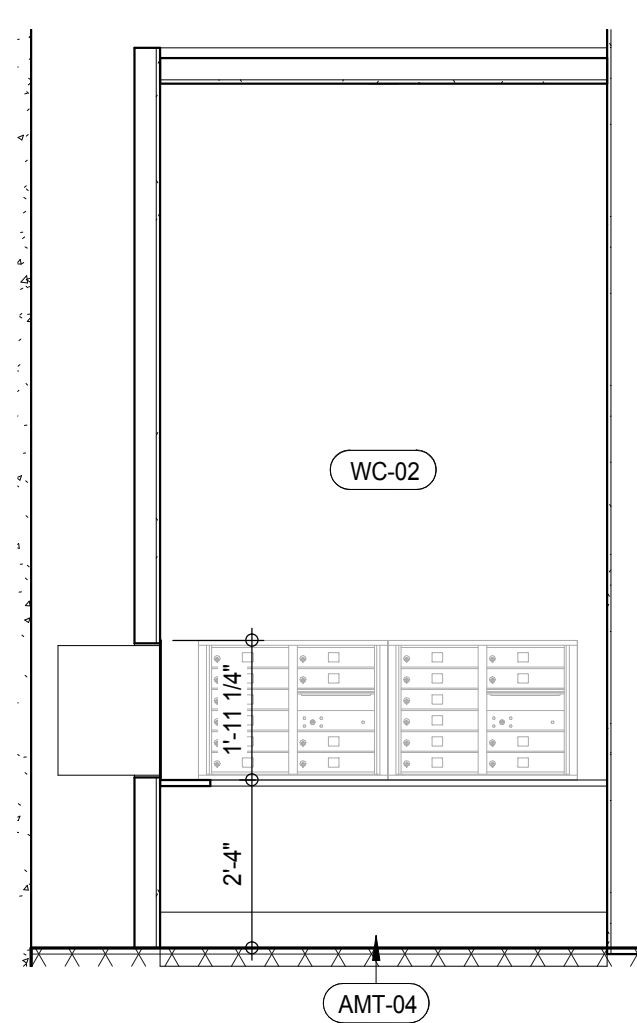
INTERIOR ELEV. - LOBBY REST RM VESTIBULE 8  
A-911  
3/8" = 1'-0"



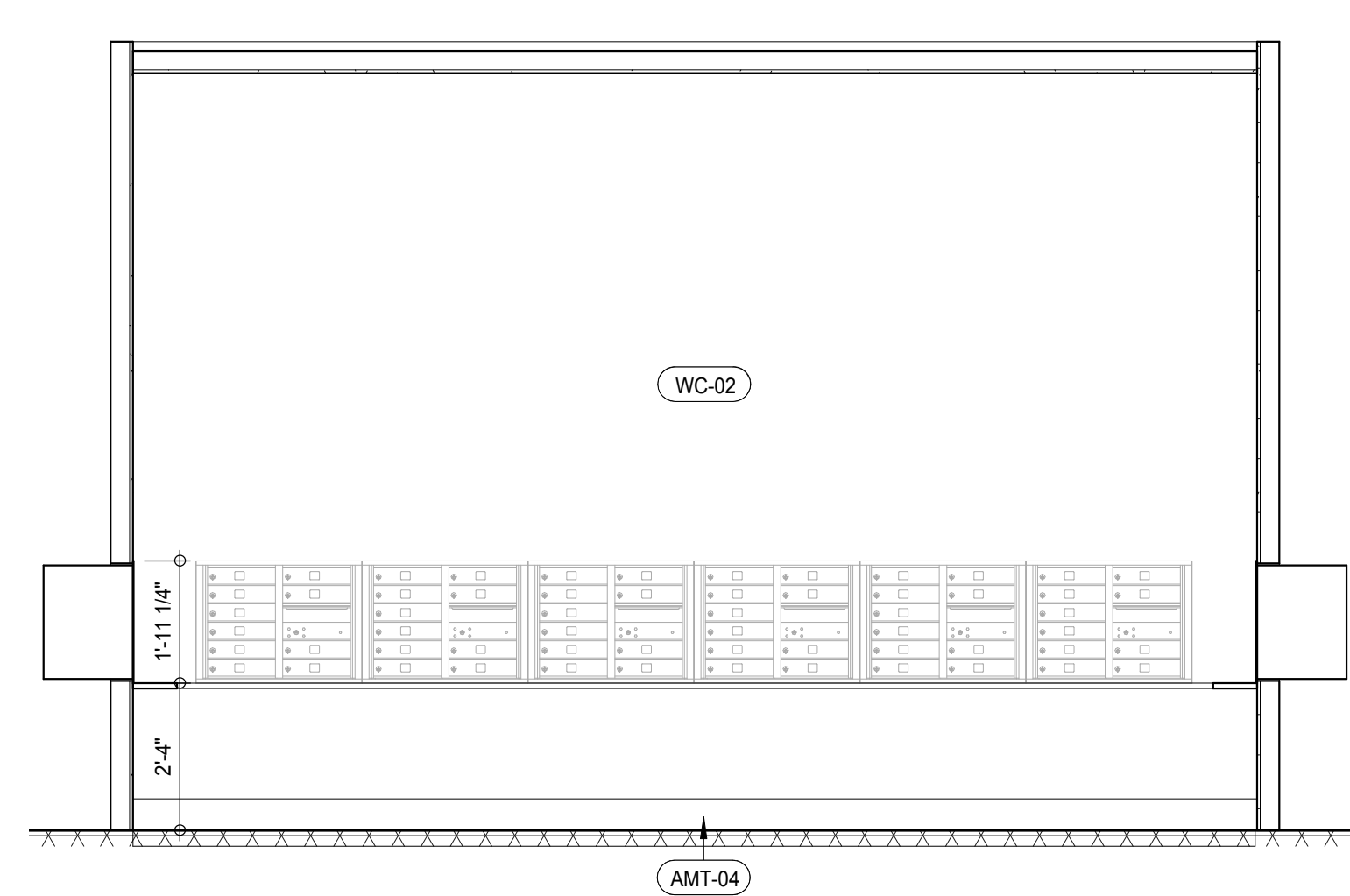
INTERIOR ELEV. - LOBBY REST RM VESTIBULE 7  
A-911  
3/8" = 1'-0"



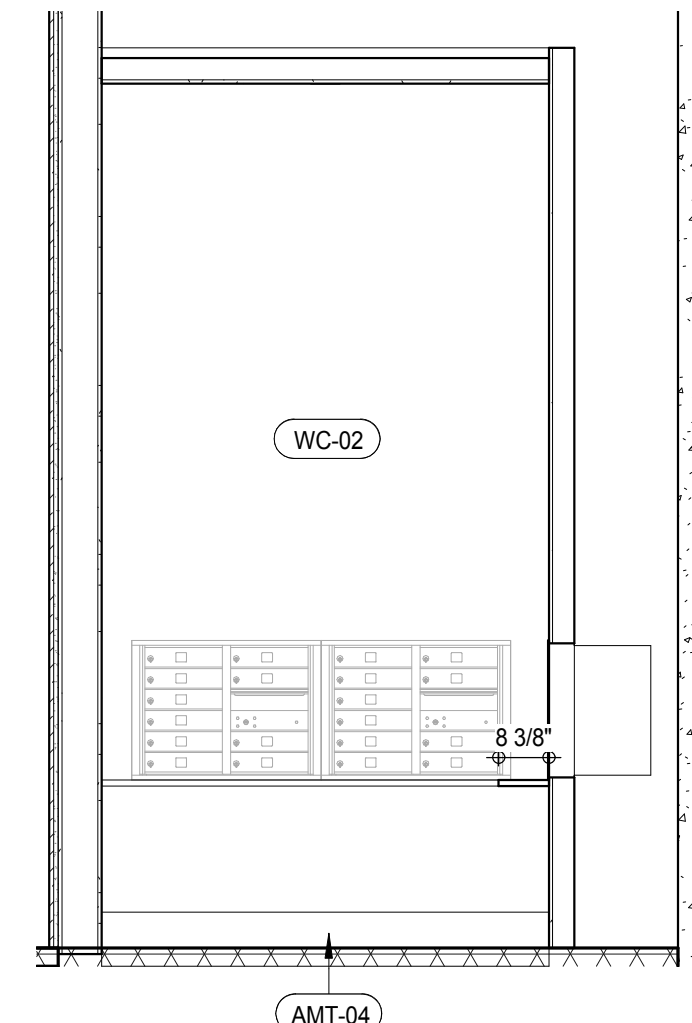
INTERIOR ELEV. - LOBBY MAIL RM 6  
A-911  
3/8" = 1'-0"



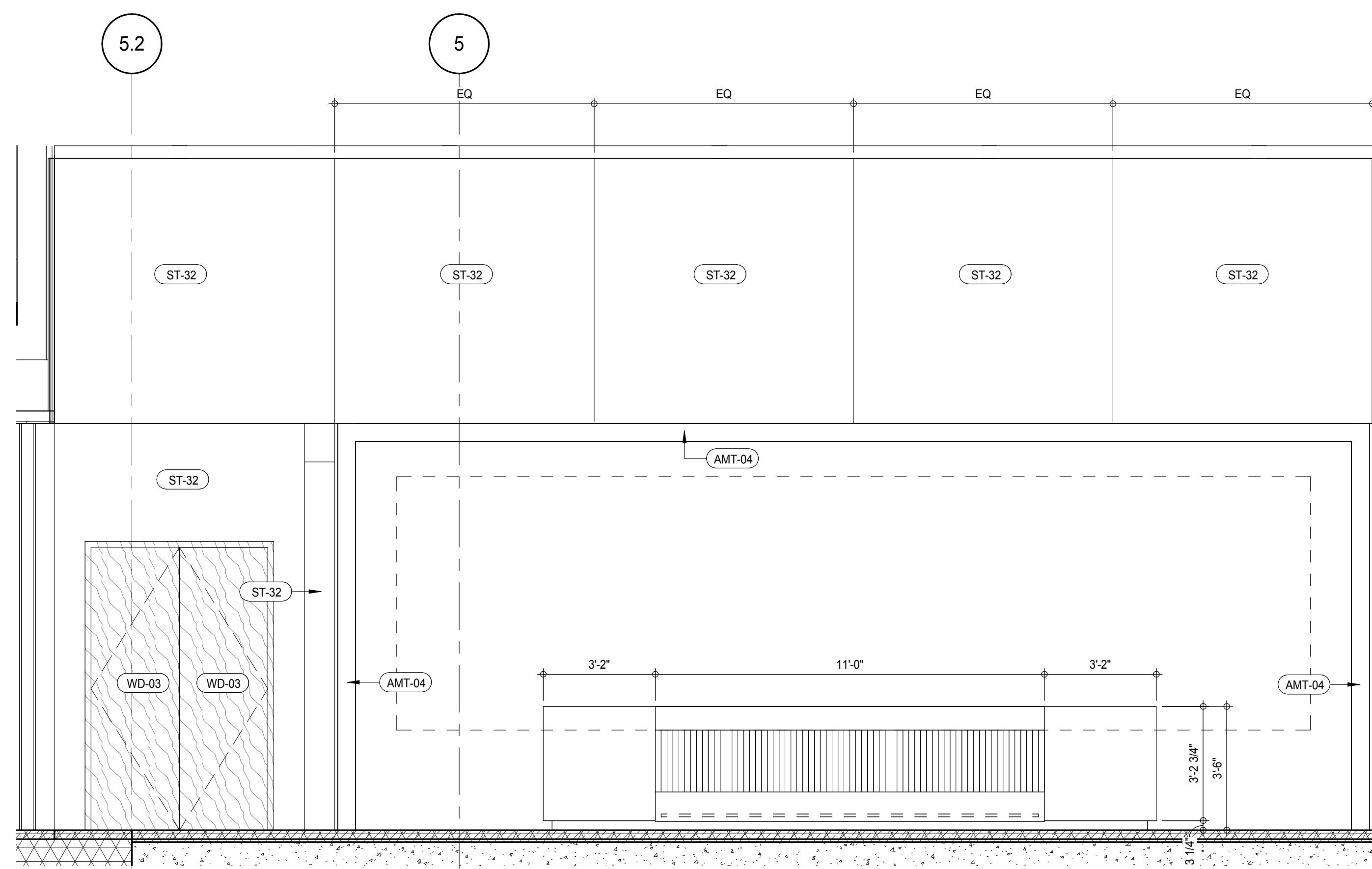
INTERIOR ELEV. - LOBBY MAIL RM 5  
A-911  
3/8" = 1'-0"



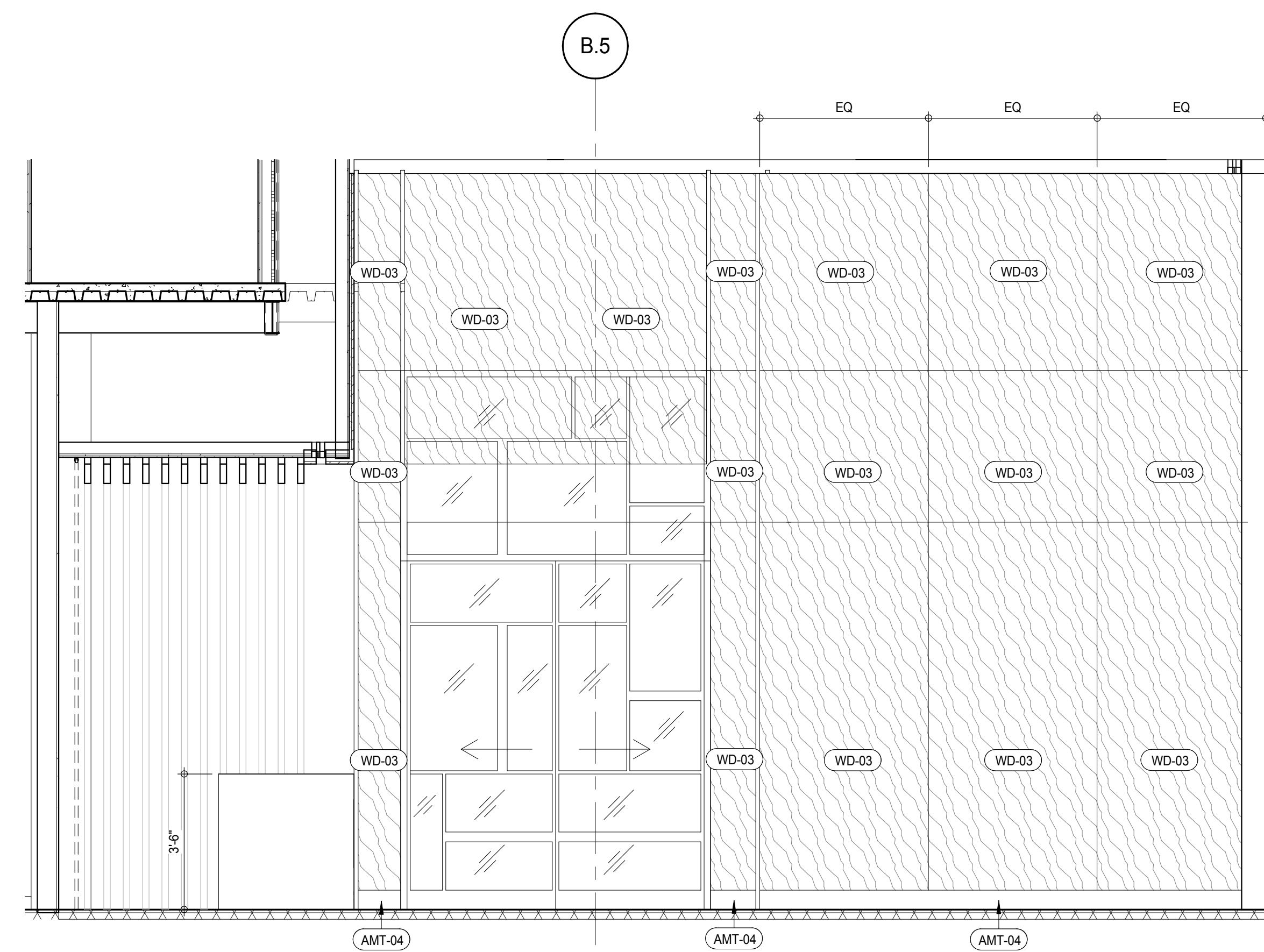
INTERIOR ELEV. - LOBBY MAIL RM 4  
A-911  
3/8" = 1'-0"



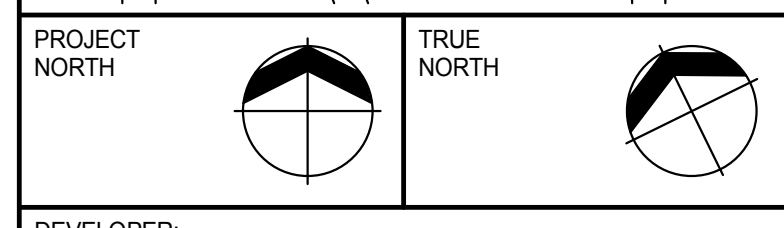
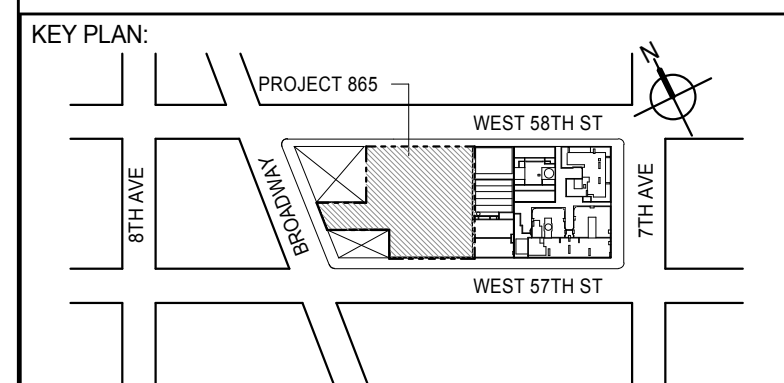
INTERIOR ELEV. - LOBBY MAIL RM 3  
A-911  
3/8" = 1'-0"



INTERIOR ELEV. - RES. MAIN LOBBY 2  
A-911  
3/8" = 1'-0"



INTERIOR ELEV. - RES. MAIN LOBBY 1  
A-911  
3/8" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
288 Fifth Ave, 7th Floor  
New York, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**  
**AAI ARCHITECTS, P.C.**  
401 Wellington St. W., 3rd Floor  
Toronto, ON M5V 1E7 Canada  
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:  
**WSP CANTOR SEINUK**  
228 EAST 45th Street  
New York, NY 10017 USA  
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:  
**AKF GROUP**  
165 Broadway, 22nd Floor  
New York, NY 10006 USA  
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:  
**Langan Engineering & Environmental Services**  
21 Penn Plaza - 300 West 57th Street, 9th Floor  
New York, NY 10001-2722  
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
New York, NY 10007  
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 826  
New York, NY 10013  
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
39 West 37th Street, 12A  
New York, NY 10018  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 1	24 JUL 15

#### NOT FOR BID/CONSTRUCTION

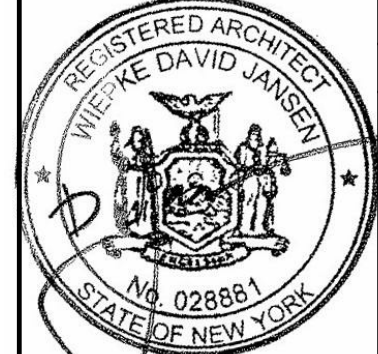
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:  
**AAI**  
ARCHITECTS, P.C.

PROJECT:  
**217 WEST 57TH STREET**  
NEW YORK, NY

DRAWING TITLE:  
**MAIN LOBBY ELEVATIONS**

SEAL & SIGNATURE: 	DATE: 01 JUN 15 PROJECT No: 1216-00 DRAWN: Author CHK: Checker SCALE: 3/8" = 1'-0" DWG No: <b>A-913.00</b>	REV: 1
--	---	--------

DOB EMPLOYEE STAMP: DOB PAGE No: DOB 5-SCAN: